

**THE ERWIN BOARD OF COMMISSIONERS  
AUGUST 2022 REGULAR MEETING  
THURSDAY, AUGUST 4, 2022 @ 7:00 P.M.  
ERWIN MUNICIPAL BUILDING BOARDROOM**

**AGENDA**

**1. MEETING CALLED TO ORDER**

- A. Invocation
- B. Pledge of Allegiance

**2. AGENDA ADJUSTMENTS /APPROVAL OF AGENDA**

**3. CONSENT**

*All items on Consent Agendas are considered routine, to be enacted on one motion without discussion. If a Board member or citizen request discussion of an item, the item will be removed from the Consent Agenda and considered under New Business.*

- A. Minutes of Workshop on June 27, 2022 (**Page 2**)
- B. Minutes Regular Meeting on July 14, 2022 (**Page 6**)
- C. Financial Report for June 2022 (**Page 10**)
- D. Resolution of Support (**Page 12**)
- E. Community Building Sign (**Page 13**)

**4. PUBLIC COMMENT**

*Each speaker is asked to limit comments to 3 minutes, and the requested total comment period will be 15 minutes or less. Citizens should sign up prior to the start of the meeting. Please provide the clerk with copies of any handouts you have for the Board. Although the Board is interested in hearing your concerns, speakers should not expect Board action or deliberation on the subject matter brought up during the Public Comment segment. Thank you for your consideration of the Town Board, staff, and other speakers. §160A-81.1*

**5. PROCLAMATION OF RECOGNITION OF OUTGOING PLANNING BOARD MEMBER  
MICHAEL SHEAN**

**6. PUBLIC HEARING**

- A. ZT-2022-004 (**Page 15**)

**7. NEW BUSINESS**

- A. Bryant Road Subdivision Preliminary Plat (**Page 39**)

**8. MANAGER'S REPORT**

**9. ATTORNEY'S REPORT**

**10. GOVERNING BODY COMMENTS**

**11. ADJOURNMENT**

**ERWIN BOARD OF COMMISSIONERS**

**REGULAR WORKSHOP MINUTES**

**JUNE 27, 2022**

**ERWIN, NORTH CAROLINA**

The Board of Commissioners for the Town of Erwin with Mayor Randy Baker presiding, held its Regular Workshop in the Erwin Municipal Building Board Room on Monday, June 27, 2022, at 6:00 P.M. in Erwin, North Carolina.

Board Members present were: Mayor Randy Baker, Mayor Pro Tem Ricky Blackmon, and Commissioners William Turnage, Alvester McKoy, Timothy Marbell, and David Nelson.

Board Members absent were: Commissioner Charles Byrd

Town Manager Snow Bowden, Town Clerk Lauren Evans, Police Chief Jonathan Johnson, and Police Lieutenant Joey Ennis were present.

Mayor Baker called the meeting to order at 6:00 P.M.

Commissioner McKoy gave the invocation.

Commissioner Blackmon led the Pledge of Allegiance.

**AGENDA ADJUSTMENT/APPROVAL OF AGENDA**

Town Manager Snow Bowden stated there were no agenda adjustments but he did want to inform the Board that under Consent in the Library Consolidation Agreement, the County emailed him and is ready to move forward with the agreement but it will start on August 1<sup>st</sup> rather than July 1<sup>st</sup> as originally planned.

Commissioner Blackmon asked if we will be deducting what the Town has already paid out of the \$69,000. He stated he wanted in writing that we will be deducting the monthly expense for July from the \$69,000.

Discussion continued among the Board.

Commissioner Blackmon made a motion to remove Item K Library Consolidation Agreement under Consent and discuss it at our July Regularly Scheduled Board Meeting.

The Board discussed the dates for the July Regularly Scheduled Board Meeting.

The consensus of the Board was to move the July Regularly Scheduled Board Meeting from July 7<sup>th</sup> at 7 PM to July 14<sup>th</sup> at 7 PM. The Town Clerk will notify the Newspaper and advertise the updated Meeting Schedule.

Commissioner McKoy made a motion to approve the adjusted agenda and was seconded by Commissioner Turnage. **The Board voted unanimously.**

## MINUTES CONTINUED FROM JUNE 27, 2022

### CONSENT

Commissioner Blackmon made a motion to approve **(ITEM A)** Minutes of Budget Workshop on June 8, 2022 **(ITEM B)** Budget Ordinance Amendment BOA 2022-03 **(ITEM C)** Budget Ordinance Amendment BOA 2022-06 **(ITEM D)** Budget Ordinance Amendment BOA 2022-07 **(ITEM E)** Town of Erwin Allowable Costs and Expenditures of ARPA/CSLFRF Funding Policy **(ITEM F)** Town of Erwin ARP/CSLFRF Record Creation and Retention Policy **(ITEM G)** Town of Erwin ARPA/CSLFRF Income Policy **(ITEM H)** Town of Erwin ARPA/CSLFRF Non-Discrimination Policy **(ITEM I)** Town of Erwin ARPA/CSLFRF Property Management Policy **(ITEM J)** Town of Erwin Eligible Use of ARPA/CSLFRF Funding Policy and was seconded by Commissioner Turnage. **The Board voted unanimously.**

### PUBLIC HEARING

#### **Proposed Fiscal Year Budget 2022-2023**

Commissioner McKoy made a motion to open the Public Hearing and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

Town Manager Snow Bowden stated he provided the Board with an updated Property Tax Summary. He apologized for an error in the tax rate, he had \$.47 rather than \$.48 under vehicles and under Job Classification, we no longer have two SROs only one. He proposed a tax rate of \$.48 which includes a 5% COLA for all full-time employees and up to 3% merit. He provided the Board with a memo explaining how we were originally looking at \$93,000 for Property, Liability, and Worker's Comp but we reached out to the NCLM for another quote and we were quoted including bonds, \$71,776.00 and Town Staff would really benefit from having the League. In the Budget he included \$50,000.00 for an LED sign and some other work to improve the appearance at Town Hall, he felt \$50,000.00 was high but he wanted to give himself a little wiggle room with the increase in supplies and possible electrical components. He also included \$50,000.00 for an updated Comprehensive Land Use Plan, funds for a new leaf truck and knuckle boom truck for Public Works, and funding for improvements to the parks such as resurfacing the parking lot and a new roof on the gym. No transfers were made from any other general fund but he did transfer \$674,634.00 for the ARP fund which is under the \$750,000 threshold and keeps us from having to do a single audit. He did his best to include all requests from the two budget retreats. He was hopeful once Harnett County rolls their wireless plan with Waves, we might have better internet and wireless access in Town for cameras.

Mayor Baker asked if anyone would like to come forward and speak in favor, in opposition, or comment on the Proposed Fiscal Year Budget 2022-2023.

No one came forward.

Mayor Baker asked if the Board had any comments to make before closing the Public Hearing.

Commissioner Turnage stated line item 18 allowed for 20,000.00 to have a survey of the streets. He inquired whether we could do this service in-house.

## MINUTES CONTINUED FROM JUNE 27, 2022

Town Manager Snow Bowden stated this needs to be a third-party service that will have an unbiased assessment of every street in Town.

Commissioner Blackmon stated the third party will take the politics out of the decisions.

Commissioner Turnage asked what the Town plans to do with the sign we will be replacing with the LED sign.

Town Manager Snow Bowden stated he can try to sell it but we will have to wait and see how well it holds up after being removed from the brick.

Commissioner Turnage stated Town Manager Snow Bowden did a super job.

Commissioner Blackmon inquired on why there was a change in the amount of ARP funds being transferred.

Town Manager Snow Bowden stated there was an additional \$140,000 for the improvements to Al Woodall Park and we are using ARP funds for general operating funds and reporting as salaries. He stated he felt good about the budget but he does have some concerns about the economy. The requested positions and equipment in the budget will help staff better serve our citizens.

Commissioner Blackmon asked Town Manager Snow Bowden to provide numbers to the Board showing what the final number was for each department at the end of each fiscal year.

Town Manager Snow Bowden stated after each audit there are final numbers he can provide for the past five years.

Commissioner Turnage made a motion to close the Public Hearing and was seconded by Commissioner McKoy. **The Board voted unanimously.**

Commissioner Blackmon made a motion to approve the Proposed Fiscal Year Budget 2022-2023 and was seconded by Commissioner Turnage. **The Board voted unanimously.**

## CLOSED SESSION

Commissioner McKoy made a motion to go into Closed Session Pursuant to General Statute 143-318.11 (a) (6) for the Purpose of Discussing Personnel at 6:29 PM and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

## RECONVENED

Commissioner McKoy made a motion to go back into regular session at 6:46 PM and was seconded by Commissioner Turnage. **The Board voted unanimously.**

**MINUTES CONTINUED FROM JUNE 27, 2022**

**ADJOURNMENT**

Commissioner Blackmon made a motion to adjourn at 6:47 P.M. and was seconded by Commissioner Turnage. **The Board voted unanimously.**

**MINUTES RECORDED AND TYPED BY  
LAUREN EVANS TOWN CLERK**

**ATTEST:**

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**Randy Baker**  
**Mayor**

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**Lauren Evans**  
**Town Clerk**

**ERWIN BOARD OF COMMISSIONERS**

**REGULAR MINUTES**

**JULY 14, 2022**

**ERWIN, NORTH CAROLINA**

The Board of Commissioners for the Town of Erwin with Mayor Randy Baker presiding held its Regular Meeting in the Erwin Municipal Building Board Room on Thursday, July 14, 2022, at 7:00 P.M. in Erwin, North Carolina.

Board Members present were: Mayor Randy Baker, Mayor Pro Tem Ricky Blackmon, and Commissioners William Turnage, Alvester McKoy, Timothy Marbell, David Nelson, and Charles Byrd.

Town Manager Snow Bowden, Town Clerk Lauren Evans, Town Attorney Tim Morris, and Police Chief Jonathan Johnson were present.

Mayor Baker called the meeting to order at 7:00 PM.

Commissioner McKoy gave the invocation.

Citizen, James Harrold, led the Pledge of Allegiance.

**AGENDA ADJUSTMENT/APPROVAL OF AGENDA**

Commissioner McKoy made a motion to approve the agenda and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

**CONSENT**

Commissioner Blackmon made a motion to approve **(ITEM A)** Minutes of Regular Workshop on May 23, 2022 **(ITEM B)** Minutes of Regular Meeting on June 2, 2022 **(ITEM C)** Financial Report for May 2022 and was seconded by Commissioner Whitman. **The Board voted unanimously.**

**PUBLIC COMMENT**

No one was present for Public Comment.

**SPECIAL PRESENTATION RECOGNIZING THE CFCA SOFTBALL TEAM**

Mayor Baker presented a Proclamation Plaque congratulating the 2022 Cape Fear Christian Academy Lady Eagles Softball Team and coaches on an amazing season.

## MINUTES CONTINUED FROM JULY 14, 2022

### OLD BUSINESS

#### **Library Consolidation**

Town Manager Snow Bowden stated provided the Board with copies of the two previous drafts and the proposed final contract with Harnett County for the Library Consolidation. It will be prorated due to beginning in August. The estimated amount the Town will pay will be \$63,621.00.

Commissioner Turnage asked for Town Attorney Tim Morris' opinion.

Town Attorney Tim Morris stated that the most important aspect of this contract was that the Board has the right to terminate with a 6-month notice prior to the next fiscal year.

Commissioner Blackmon made a motion to approve the Library Consolidation Contract with Harnett County and was seconded by Commissioner Turnage. **The Board voted unanimously.**

### CLOSED SESSION

Commissioner McKoy made a motion to go into Closed Session Pursuant to General Statute 143-318.11 (a) (6) for the Purpose of Discussing Personnel at 7:13 PM and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

### RECONVENED

Commissioner McKoy made a motion to go back into regular session at 7:47 PM and was seconded by Commissioner Turnage. **The Board voted unanimously.**

### MANAGER'S REPORT

Town Manager Snow Bowden informed the Board that the LED Sign has been ordered and should arrive in November. We are currently working on updating our website to be more modern and user-friendly, such as online payment and online registration. He updated the Board on the progress on East H Street. He stated they were waiting for the budget to put curb stops on all the parking spots which were expected to happen in the next week. He has had good feedback from the business owner on East H Street and Cotton Row was happy about how the handicap parking spot was set up. He thanked Lillington for allowing us to borrow their limb truck while we wait for our Limb Truck which was expected to arrive in July. He informed the Board that we are currently closing our budget and will hopefully have our auditors come in the fall. He reminded the Board about the joint meeting with the Planning Board on July 18<sup>th</sup> at 7 PM and he hoped to have a quote on the Comprehensive Land Use Plan at our August Workshop.

**MINUTES CONTINUED FROM JULY 14, 2022**  
**ATTORNEY'S REPORT**

Town Attorney Tim Morris stated he was thankful to be the Town Attorney and he applauded the Chamber for doing lots of great things around the Town.

**GOVERNING COMMENTS**

Commissioner Turnage informed the Board that Denim Days will be on October 1<sup>st</sup>, there will be Erwin Mills Day and they will invite everyone who worked at the Mills and will be cooking Brunswick Stew. People do not realize what the Mills did for Erwin. There is a guy who walks up and down S 13<sup>th</sup> Street picking up trash and he felt he should be recognized.

Town Manager Snow Bowden informed the Board that the man Commissioner Turnage is speaking of is very shy. He has reached out to his family in the past and was informed he does not wish to be recognized.

The Board directed staff to get him a gift certificate to IGA for his efforts and ask his family to give it to him.

Commissioner Turnage stated he is still waiting for a meeting with Keith Anderson to discuss speeding on Iris Bryant Road and S 13<sup>th</sup> Street. There are two broken speed limit monitors as you come into Erwin. He asked Town Manager Snow Bowden and Police Chief Jonathan Johnson to help him set up a meeting with Keith Anderson.

Commissioner Nelson thanked Mayor Baker and Town Clerk Lauren Evans for organizing the Remembrance Service at Al Woodall Park and it turned out really good.

Commissioner Byrd asked who the Board needs to talk to at the State about the gully in the road and the hump at Porter Park. There comes to a point where it is dangerous.

Mayor Baker stated he has already spoken to Keith Anderson about those exact issues. Mr. Anderson was surprised with some change orders he was not expecting and has already hired the workers to fix the problems.

Commissioner Byrd expressed his concern with the flood issue over by the new school.

Town Manager Snow Bowden stated during the previous week's rain storm, Public Works Director Mark Byrd took pictures and videos of the flooding on East D Street and pouring over on 10<sup>th</sup> Street as well. The flooding is due to the way the new school is sloped and he has made Steve Matthews with the Harnett County Schools aware.

Commissioner Byrd asked where we are on dealing with the fence he previously informed staff about.

Town Attorney Tim Morris stated it is non-compliance and he reached out to see if there is an informal way to fix the issue and has since found out that an informal approach will not work. He did draft a letter to send to the code violator.



**MINUTES CONTINUED FROM JULY 14, 2022**

Commissioner Byrd stated we will go to court if we need to. Why have codes if we do not enforce them? He stated two flea markets are being run on his road and we have to do something about it.

Commissioner Marbell stated the worst yard is on D Street and he will not say names but this resident needs to clean up his home.

Mayor Baker thanked Town Clerk Lauren Evans, all staff, and everyone who was able to attend the Remembrance Service. He hoped everyone enjoyed the service, there were a lot of good comments and feedback. He stated he wanted the Board to involve the public as much as we can and that internally will solve some issues. He has some ideas for different advisory Boards that can reach out and get the citizens more involved within the Town.

**ADJOURNMENT**

Commissioner Byrd made a motion to adjourn at 8:08 P.M. and was seconded by Commissioner McKoy. **The Board voted unanimously.**

**MINUTES RECORDED AND TYPED BY  
LAUREN EVANS TOWN CLERK**

**ATTEST:**

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**Randy Baker**  
**Mayor**

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**Lauren Evans**  
**Town Clerk**

**TOWN OF ERWIN**  
**FINANCIAL SUMMARY REPORT**  
**FOR MONTH OF June 2022**



REVENUES	ANNUAL BUDGET	June '22 ACTIVITY	ACTUAL TO DATE	Y-T-D % COLLECTED
CURRENT YEAR LEVY OF PROPERTY TAXES	1,163,679.00	21,977.00	1,179,180.00	101.33%
CURRENT YEAR MOTOR VEHICLE TAXES	175,470.00	19,110.00	175,813.00	100.20%
PRIOR YEAR TAXES / Penalties & Interest	10,000.00	1,975.00	20,008.00	200.08%
UTILITIES FRANCHISE TAXES	190,000.00	52,063.00	187,895.00	98.89%
ENTRY FEES	19,000.00	420.00	21,285.00	112.03%
SALES & USE TAX	702,000.00	84,078.00	891,215.00	126.95%
ZONING PERMITS/APPLICATIONS	8,000.00	300.00	14,380.00	179.75%
REFUSE COLLECTIONS FEES	410,256.00	36,513.00	450,920.00	109.91%
STORM WATER COLLECTION	69,930.00	5,123.00	62,468.00	89.33%
ALL OTHER REVENUES	788,822.00	28,237.00	644,834.00	81.75%
	<b>3,537,157.00</b>	<b>249,796.00</b>	<b>3,647,988.00</b>	<b>103.13%</b>
EXPENDITURES	ANNUAL BUDGET	June 2022 ACTIVITY	ACTUAL TO DATE	Y-T-D % SPENT
GOVERNING BODY	47,945.00	1,803.00	22,491.00	46.91%
ADMINISTRATION	263,399.00	18,169.00	241,726.00	91.77%
NON-DEPARTMENTAL	306,319.00	24,399.00	301,252.00	98.35%
PLANNING & INSPECTIONS	67,369.00	138.00	10,695.00	15.88%
POWELL BILL-STREETS	227,780.00	169,525.00	225,954.00	99.20%
POLICE	1,008,843.00	62,127.00	948,614.00	94.03%
POLICE-SRO	64,030.00	4,776.00	62,247.00	97.22%
CONTRACT SERVICES-FIRE	264,307.00	12,147.00	264,167.00	99.96%
PUBLIC WORKS-ADMIN.	119,004.00	9,277.00	115,531.00	97.08%
PUBLIC WORKS-STREETS	391,994.00	31,802.00	319,185.00	81.43%
PUBLIC WORKS-SANITATION	335,343.00	24,866.00	288,321.00	85.98%
PUBLIC WORKS-STORM WATER	15,000.00	6,833.00	12,986.00	86.57%
RECREATION	349,119.00	32,815.00	326,076.00	93.40%
LIBRARY	69,405.00	4,480.00	66,568.00	95.90%
COMMUNITY CENTER	7,300.00	423.00	5,355.00	73.36%
	<b>3,537,157.00</b>	<b>403,680.00</b>	<b>3,211,158.00</b>	<b>90.78%</b>
Y-T-D GENERAL FUND BALANCE INCREASE (DECREASE)		(153,784.00)	436,840.00	

BANK BALANCES AS OF June 2022		
NC Capital Mgt Trust - Cash Management		2,734,579.20
BB&T CASH IN BANK	*	141,224.20
FIRST FEDERAL PRESTIGE - BUSINESS MONEY MARKET		136,841.25
FIRST FEDERAL PREMIUM - BUSINESS MONEY MARKET		858,301.55
Y-T-D INVESTMENT BALANCE IN GENERAL FUND ACCOUNTS		3,870,946.20
TRUISIT - STATE FORFEITURE		5,151.81
TRUISIT - CAPITAL RESERVE/COMM. ENHANCEMENT		215,484.11
FIRST FEDERAL CAP. - RESERVE/GENERAL		2,353,690.77
TRUISIT - HEALTH RESERVE HRA ACCT.		21,864.71
TRUISIT - PRIEBE FIELD ACCT.		22,905.75
AL WOODALL PARK IMPROVEMENTS		388,175.66
TRUISIT - AMERICAN RELIEF FUNDS - (ARPA) Federal Grant		593,901.34
TRUISIT - Community Building Renovation - (SCIF) State Grant		93,118.12
Y-T-D INVESTMENT BALANCE RESTRICTED FUNDS		3,694,192.27
CUMULATIVE BALANCE FOR TOWN OF ERWIN		7,565,138.47

POWELL BILL BALANCE	220,241.32
\$	

Town Of Erwin  
Financial Summary Report  
YTD Comparison of June 2021 and 2022



BANK ACCOUNT BALANCES			
	YTD	YTD	YTD
	Jun-22	Jun-21	Jun-21
CASH MANAGEMENT	2,734,579.20		1,929,976.78
BB&T CASH IN BANK	141,224.20		332,264.27
FIRST FEDERAL BUSINESS M	136,841.25		136,533.43
FIRST FEDERAL MONEY MARKET	858,301.55		856,586.66
Y-T-D INVESTMENT BALANCE IN GENERAL FUND ACCOUNTS	\$ 3,870,946.20		\$ 3,255,361.14
BB&T STATE FORFEITURE	5,151.81		4,246.64
BB & T CAPITAL RESERVE/COMM. ENHANCEMENT	215,484.11		189,023.55
FIRST FEDERAL CAP. RESERVE/GENERAL	2,353,690.77		2,348,888.31
BB&T HEALTH RESERVE HRA ACCT.	21,864.71		17,420.93
PRIEBE FIELD ACCT.	22,905.75		9,922.53
AL WOODALL PARK IMPROVEMENTS	388,175.66		337,940.85
AMERICAN RELIEF FUNDS: ARPA Grant	593,901.34		
Community Bid.Renovation: SCIF GRANT	93,118.12		
Y-T-D BALANCE RESTRICTED FUNDS	\$ 3,694,192.27		\$ 2,907,442.81
CUMULATIVE BALANCE FOR TOWN OF ERWIN	\$ 7,565,138.47		\$ 6,162,803.95

	YTD		YTD	DIFFERENCE
	Jun-22	Jun-21		
<b>Revenues</b>				
CURRENT YEAR LEVY OF PROPERTY TAXES	1,179,180.00	1,160,178.00	19,002.00	
CURRENT YEAR MOTOR VEHICLE TAXES	175,813.00	183,578.00	(7,765.00)	
PRIOR YEAR TAXES / Penalties & Interest	20,008.00	30,800.00	(10,792.00)	
UTILITIES FRANCHISE TAXES	187,895.00	187,518.00	377.00	
ENTRY FEES	21,285.00	11,475.00	9,810.00	
SALES & USE TAX	891,215.00	789,770.00	101,445.00	
ZONING PERMITS/APPLICATIONS	14,380.00	16,325.00	(1,945.00)	
REFUSE COLLECTIONS FEES	450,920.00	447,667.00	3,253.00	
STORM WATER COLLECTION	62,468.00	60,681.00	1,787.00	
ALL OTHER REVENUES	644,834.00	794,573.00	(149,739.00)	
	\$ 3,647,998.00	\$ 3,682,565.00	(34,567.00)	
<b>Expenditures</b>				
GOVERNING BODY	22,491.00	22,916.00	(425.00)	
ADMINISTRATION	241,726.00	263,830.00	(22,104.00)	
NON-DEPARTMENTAL	301,252.00	264,019.00	37,233.00	
PLANNING & INSPECTIONS	10,695.00	33,601.00	(22,906.00)	
POWELL BILL-STREETS	225,954.00	164,235.00	61,719.00	
POLICE	948,614.00	802,114.00	146,500.00	
POLICE-SRO	62,247.00	75,455.00	(13,208.00)	
CONTRACT SERVICES-FIRE	264,167.00	253,033.00	11,134.00	
PUBLIC WORKS-ADMIN.	115,531.00	102,412.00	13,119.00	
PUBLIC WORKS-STREETS	319,185.00	251,090.00	68,095.00	
PUBLIC WORKS-SANITATION	288,321.00	345,801.00	(57,480.00)	
PUBLIC WORKS-STORM WATER	12,986.00	13,845.00	(859.00)	
RECREATION	326,076.00	289,534.00	36,542.00	
LIBRARY	66,568.00	64,482.00	2,076.00	
COMMUNITY CENTER	5,355.00	12,517.00	(7,162.00)	
	\$ 3,211,158.00	\$ 2,958,884.00	252,274.00	



# TOWN OF ERWIN

P.O. Box 459 · Erwin, NC 28339  
Ph: 910-897-5140 · Fax: 910-897-5543  
www.erwin-nc.org

## TOWN OF ERWIN RESOLUTION IN SUPPORT OF THE INTENT TO REDEVELOP A BROWNFIELDS PROPERTY

**Mayor**  
Randy L. Baker  
**Mayor Pro Tem**  
Ricky W. Blackmon  
**Commissioners**  
Alvester L. McKoy  
Timothy D. Marbell  
Charles L. Byrd  
David L. Nelson  
William R. Turnage

**WHEREAS**, the prospective developer has filed with the North Carolina Department of Environmental Quality (DEQ) a Notice of Intent to Redevelop a Brownfields Property located at 200 N 13<sup>th</sup> Street, Erwin NC 28339 pursuant to the North Carolina Brownfields Property Reuse Act authorized by the North Carolina General Statutes 130A-310.30 through 130A-310.40; and

**THEREFORE, BE IT RESOLVED** that the Town of Erwin Mayor Randy Baker and the Board of Commissioners endorse and support the intent to redevelop the Brownfield Property, which is the former site of the Erwin Textile Mill.

Adopted this 4th day of August 2022.

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**Randy Baker**  
**Mayor**

**ATTEST:**

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**Lauren Evans**  
**Town Clerk**

15.00 in

72.00 in

36.00 in

12.00 in

102.00 in

# ERWIN COMMUNITY CENTER



Lions Clubs  
International



FULFILLING  
OUR PROMISES  
TO THE MEN AND WOMEN  
WHO SERVED



## ERWIN COMMUNITY BUILDING 36" x 72" Wall Sign w/ U-Brick Monument

2785 US Hwy 301 N, Dunn, NC 28334  
Ph: 910-892-5900 • Fax: 910-892-2140 • [www.SignandAwning.com](http://www.SignandAwning.com)

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All artwork must be approved by the customer before we move forward with the order. It is the customer's responsibility to ensure that the proof is correct in all areas. Please be sure to double-check Spelling, Grammar, Layout, and Design Content. If the proof containing errors is approved, the customer is liable for all costs, including corrections and reprints. Proofs may not represent exact colors. All colors displayed may look different in person than on your computer screen due to the individual monitor or screen color settings.

Customer / Landlord Approval:

Date:



# TOWN OF ERWIN

P.O. Box 459 • Erwin, NC 28339  
Ph: 910-897-5140 • Fax: 910-897-5543  
www.erwin-nc.org

## TOWN OF ERWIN PROCLAMATION RECOGNIZING OUTGOING PLANNING/ZONING & BOARD OF ADJUSTMENTS MEMBER MR. MICHAEL SHEAN FOR OUTSTANDING SERVICE

2022-2023---002

**Mayor**  
Randy L. Baker  
**Mayor Pro Tem**  
Ricky W. Blackmon  
**Commissioners**  
Alvester L. McKoy  
Timothy D. Marbell  
Charles L. Byrd  
David L. Nelson  
William R. Turnage

**WHEREAS**, The members of the Erwin Town Board make an effort to officially recognize those individuals that serve as citizen volunteers in an effort to serve their community; and,

**WHEREAS**, Mr. Michael Shean served on the Erwin Planning/Zoning and Board of Adjustments for a period of two consecutive terms, extending from August 4, 2016, through August 1, 2022; and,

**WHEREAS**, during his tenure on the Planning/Zoning and Board of Adjustments Mr. Shean represented the community's interest in an exemplary fashion through his leadership, dedication, and ability to remain objective when considering a variety of issues.

**NOW THEREFORE BE IT RESOLVED**, that the Mayor and Board of Commissioners hereby officially recognize and commends former Planning/Zoning and Board of Adjustments Member Michael Shean for distinguished service to the citizens of the Town of Erwin and its Extra-Territorial Jurisdiction.

**DULY ADOPTED**, this the 4<sup>th</sup> day of August 2022.

**ATTEST:**

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Randy Baker  
Mayor

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Lauren Evans  
Town Clerk

# Erwin Board of Commissioners

## REQUEST FOR CONSIDERATION

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To: The Honorable Mayor and Board of Commissioners

From: Snow Bowden, Town Manager

Date: August 4, 2022

Subject: ZT-2022-004

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The Town of Erwin has received an application to have a parcel rezoned from our Rural District to our R-10 Zoning District. The parcel that is requested to be rezoned is adjacent to a parcel that is zoned R-10. The applicant plans on requesting that the parcel be voluntarily annexed into Town Limits. If this rezoning request is approved it would open up the option for the applicant to request a special use permit for a planned unit development.

The Planning Board adopted a statement-of-consistency and recommended this rezoning request for approval.

Attachments:

- ZT-2022-004 Application
- ZT-2022-004 Staff Report
- Harnett County GIS Image- No Zoning
- Harnett County GIS Image- Zoning
- Harnett County GIS Image- Blue Line Stream
- Harnett County GIS Image- Easements
- Harnett County GIS Image- Flood Zones
- Harnett County GIS Image- Water and Sewer
- Harnett County GIS Image- Wetlands
- Map of Parcels within 100'
- Surrounding property owners notified
- ZT-2022-004 Public Notice Letter
- Planning Board Statement-of-Consistency
- Statement-of-Consistency
- Statement-of-Inconsistency

Revised 9-19-2014

	<b>Application for an Amendment To The Official Zoning Map of Erwin, NC</b>
	<b>Staff Only:</b> Zoning Case # <u>Z-20</u> - _____ Fee: <u>300</u> Check # _____ MO _____ Cash _____ PB Recommendation: <u>A</u> <u>D</u> <u>A/W</u> Conditions BOC Date: _____ Decision: <u>A</u> <u>D</u> <u>T</u> <u>A/W</u> Conditions

Print Applicant Name: Zachary Angle  
 Name of Legal Property Owner: Zachary + Arielle Angle  
 Location of Property: S 20th St

Please Circle One of the Following: Less than one Acre    One to 4.99 Acres    Five or more Acres

Zoning change requested from R1 to R10

If Conditional District, note conditions: \_\_\_\_\_

Harnett County Tax Map PIN 0597-13-6466

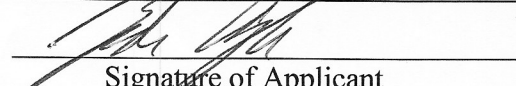
Property owner(s) of area requested and address(es)  
See attached  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

(If more space is required, please attach to this document separately)

- Submit names and addresses of property owners immediately adjacent to the proposed rezoning area (and properties within 100 feet of proposed rezoning area) and across any street(s) and identify on an area map
- Attach a metes and bounds description, deed drawing of the area involved or a reference to lots in an approved subdivision on the entire property requested for change
- This application must be filed with the Town Hall by 4:00 p.m. on the Friday which is at least 25 days before the meeting at which it is to be considered and may be withdrawn without penalty no later than 19 days prior to the public hearing

Whenever an application requesting an amendment has been acted on and denied by the Town Board, such application, or one substantially similar shall not be reconsidered sooner than one year after the previous denial.

It is understood by the undersigned that the Zoning Map, as originally adopted and as subsequently amended, is presumed by the Town to be appropriate to the property involved and that the burden of proof for a zoning amendment rests with the applicant. Applicant is Encouraged to Discuss the Proposed Zoning Amendment with Affected Property Owners.

  
 Signature of Applicant

919-602-2351  
 Contact Number

126 N Ennis St, Fuquay-Varina, NC 27526  
 Mailing Address of Applicant





**REZONING MAP REQUEST  
STAFF REPORT**

Case: ZT-2022-004

Snow Bowden, Town Manager

townmanager@erwin-nc.org

Phone: (910) 591-4200 Fax: (910) 897-5543

Planning Board: 07/18/2022

Town Commissioners: 08/04/2022

Requested zoning map amendment to a vacant parcel located off of South 20<sup>th</sup> Street. The parcel can be identified by its Harnett County PIN #0597-13-6466.000. The request is to have the parcel rezoned from Rural District (RD) to R-10.

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**Applicant Information**

**Owner of Record:**

Name: Zachary and Arielle Angle

Address: 126 N. Ennis Street

City/State/Zip: Fuquay-Varina, NC 27526

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**Property Description**

Tract – Vacant

Harnett County Tax PIN 0597-13-6466.000

Acres 42.93

Zoning District- Rural District

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**Vicinity Map**

- See Attached Harnett County GIS Image with zoning districts
- See Attached Harnett County GIS Image without zoning districts
- See Attached Harnett County GIS Image showing existing Harnett Regional Water-Water and Sewer Lines
- See Attached Harnett County GIS Image showing existing easements on parcel
- See Attached Harnett County GIS Image showing existing blue line streams on parcel
- See Attached Harnett County GIS Image showing wetlands in area
- See Attached Harnett County GIS Image showing flood zones

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## Physical Characteristics

Site Description: This is a vacant parcel located off of South 20<sup>th</sup> Street. The parcel is located in the 100-year and 500-year flood plain. Based on data from Harnett County there are not wetlands on the parcel. There is an existing ingress/egress easement that belongs to the City of Dunn, NC on this lot. Based on data from Harnett County GIS there are sewer lines on this parcel. The parcel is 42.89 acres. The parcel has changes in elevation across the parcel and good views of the Cape Fear River.

Surrounding Land Uses: This parcel is located off of South 20<sup>th</sup> Street. The majority of the uses off of this street are public infrastructure uses (water/sewer). The Dunn-Erwin Rail Trail is located off of South 20<sup>th</sup> Street. The vast majority of the other uses in the area are residential. There are some commercial uses located off of West E Street adjacent to the parcel.

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## Services Available

- Harnett County Regional Water
- Duke Energy would provide electricity
- CenturyLink is the telephone provider

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## Staff Evaluation

The applicant has requested that this parcel be rezoned from Rural District (RD) to R-10 (Residential).

Town Staff would recommend this rezoning request be evaluated for feasibility.

## Staff Evaluation

Yes  No The IMPACT to the adjacent property owners and the surrounding community is reasonable, and the benefits of the rezoning outweigh any potential inconvenience or harm to the community

- **Reasoning:** The applicant is requesting that this parcel remain zoned as a residential zoning district. The applicant does want to develop this lot as a residential land use. If approved, this zoning district would allow for further land development than what would be allowed in its current zoning district. However, the R-10 Zoning District is a bit more restrictive with other land uses that are allowed.

Yes  No The requested zoning district is COMPATIBLE with the existing Land Use Classification.

- **Reasoning:** This parcel is located in an area of Town in our 2014 Land Use Plan that was identified for Low Intensity growth. However, it is adjacent to an area identified for Medium Intensity growth. The Low Intensity growth area allows low impact uses

compatible with surrounding developments. There are a number of homes towards the bottom of West E Street.

Yes  No The proposal does ENHANCE or maintain the public health, safety, and general welfare.

- **Reasoning:** If this rezoning request is approved it would allow for further development of this lot. There would be improvements made to the lot if the rezoning request is approved that would enhance the parcel.

Yes  No The request is for a SMALL SCALE REZONING and should be evaluated for reasonableness.

- **Reasoning:** This is one tract of land that is 42.93 acres.

<p>There is a convincing demonstration that all uses permitted under the proposed district classification would be in the general public interest and not merely in the interest of an individual or small group. <b>YES</b></p>	<p>There are fewer permitted land uses with this rezoning request. If the rezoning request is approved it would allow for higher density residential land uses compared to what is currently allowed.</p>
<p>There is a convincing demonstration that all uses permitted under the proposed district classification would be appropriate in the area included in the proposed change. (When a new district designation is assigned, any use permitted in the district is allowable, so long as it meets district requirements, and not merely uses which applicants state they intend to make of the property involved.) <b>YES</b></p>	<p>This rezoning request is to a more restrictive zoning district (R-10). R-10 Zoning would allow for more residential development on this parcel compared to RD. There are a number of other land uses in the Rural District Zoning District compared to R-10.</p>
<p>There is a convincing demonstration that the character of the neighborhood will not be materially and adversely affected by any use permitted in the proposed change. <b>YES</b></p>	<p>The request is to have the parcel rezoned to another residential zoning district. If approved, this district allows uses such as a planned unit development as a special use. Special use permits require a public hearing and further approval from the Town Board. The parcel is currently located in our Rural District. There are land uses that are permitted in Rural District compared to our R-10 Zoning District.</p>
<p>The proposed change is in accord with the Land Development Plan and sound planning principles. <b>YES</b></p>	<p>This parcel is located in an area identified for low intensity growth. However, it is adjacent to an area for medium intensity growth and a small section of the parcel is found in the medium intensity growth area.</p>

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### Statement of Consistency

The requested rezoning to R-6 is compatible with all of the Town of Erwin's regulatory documents and would not only have a positive impact on the surrounding community, but would enhance the public health, safety, and general welfare as stated in the evaluation. It is recommended that this rezoning request be **Approved**.

Or

### Statement of In-Consistency

The requested rezoning to R-6 is **NOT** compatible with all of the Town of Erwin's regulatory documents and it would have a negative impact on the surrounding community. It is recommended that this rezoning request **NOT BE APPROVED**.

### Attachments:












- ZT-2022-003 Application
- Harnett County GIS Image with zoning districts
- Harnett County GIS Image without zoning districts
- Adjacent property owner sheet
- Public notice letter sent to adjacent property owners

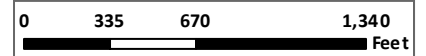
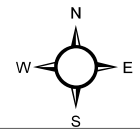
# Harnett GIS

NOT FOR LEGAL USE



Harnett County GIS

- |   |  |   |
|---|--|---|
|  Surrounding County Boundaries | <b>MajorRoads</b>  | <b>Mile_Markers</b>   |
|  City Limits                   |  Interstate |  Mile_Markers  |
|  County Boundary               |  NC         | Railroad  |
|  Airport                       |  US         |  Parcels       |
|   |  Roads      |  CapeFearRiver |

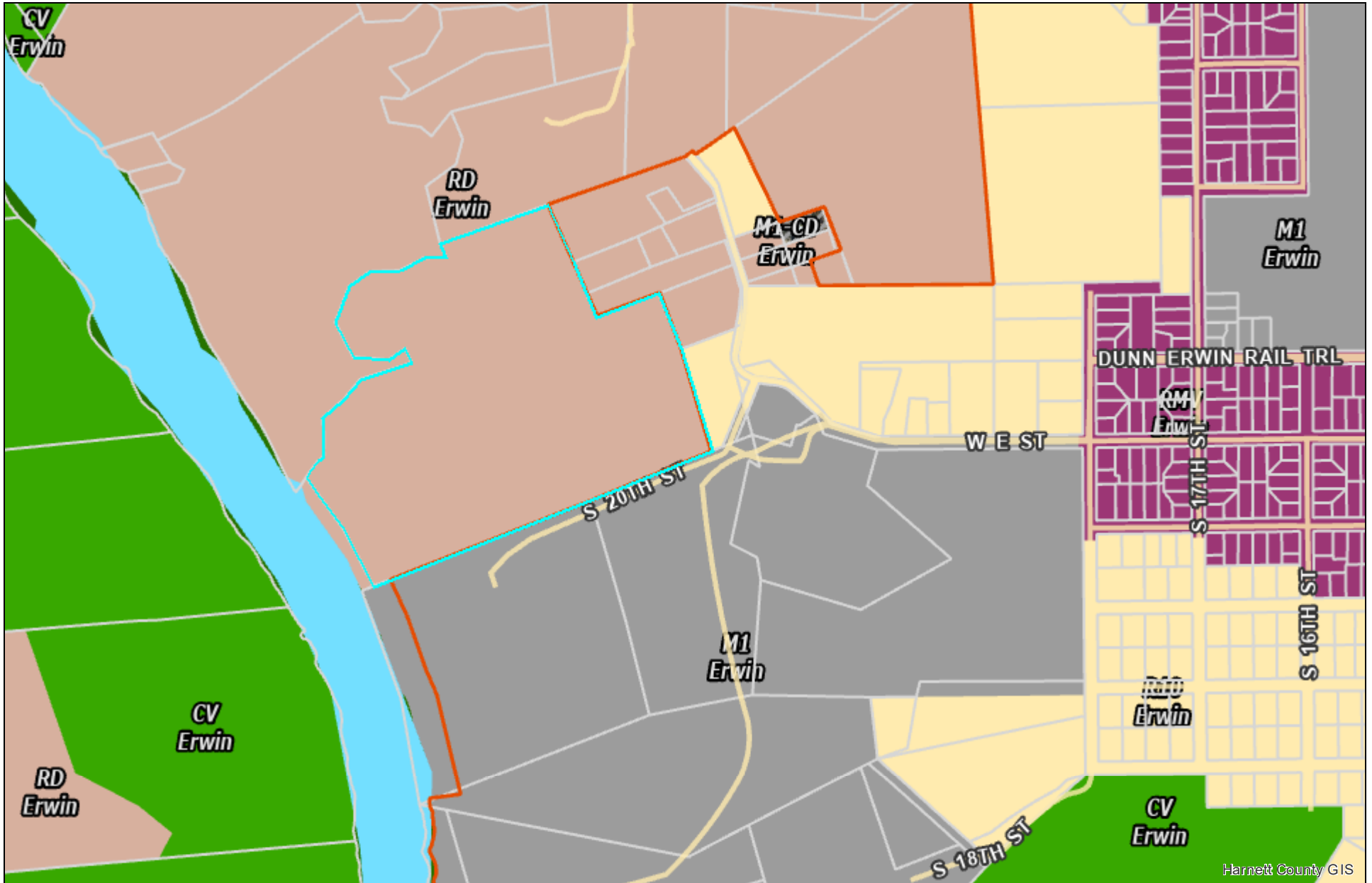


1 inch = 752 feet <sup>22</sup>













GIS/E-911 Addressing  
July 11, 2022

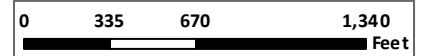
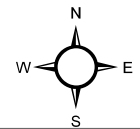
# Harnett GIS

NOT FOR LEGAL USE



Harnett County GIS

- |   |  |   |
|---|--|---|
|  Surrounding County Boundaries | <b>MajorRoads</b>  | <b>Mile_Markers</b>   |
|  City Limits                   |  Interstate |  Mile_Markers  |
|  County Boundary               |  NC         |  Railroad      |
|  Airport                       |  US         |  Parcels       |
|   |  Roads      |  CapeFearRiver |



1 inch = 752 feet <sup>23</sup>

GIS/E-911 Addressing














July 11, 2022

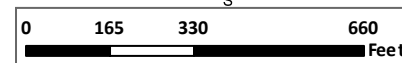
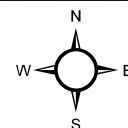
# Harnett GIS

NOT FOR LEGAL USE



Harnett County GIS

- |   |  |  |   |
|---|--|--|---|
|  Surrounding County Boundaries |  Airport    |  Roads        |  Cape Fear River |
|  City Limits                   | <b>Major Roads</b>   | <b>Mile_Markers</b>  |   |
|  County Boundary               |  Interstate |  Mile_Markers |   |
|  Address Numbers               |  NC         |  Railroad     |   |
|   |  US         |  Parcels      |   |



1 inch = 376 feet <sup>24</sup>

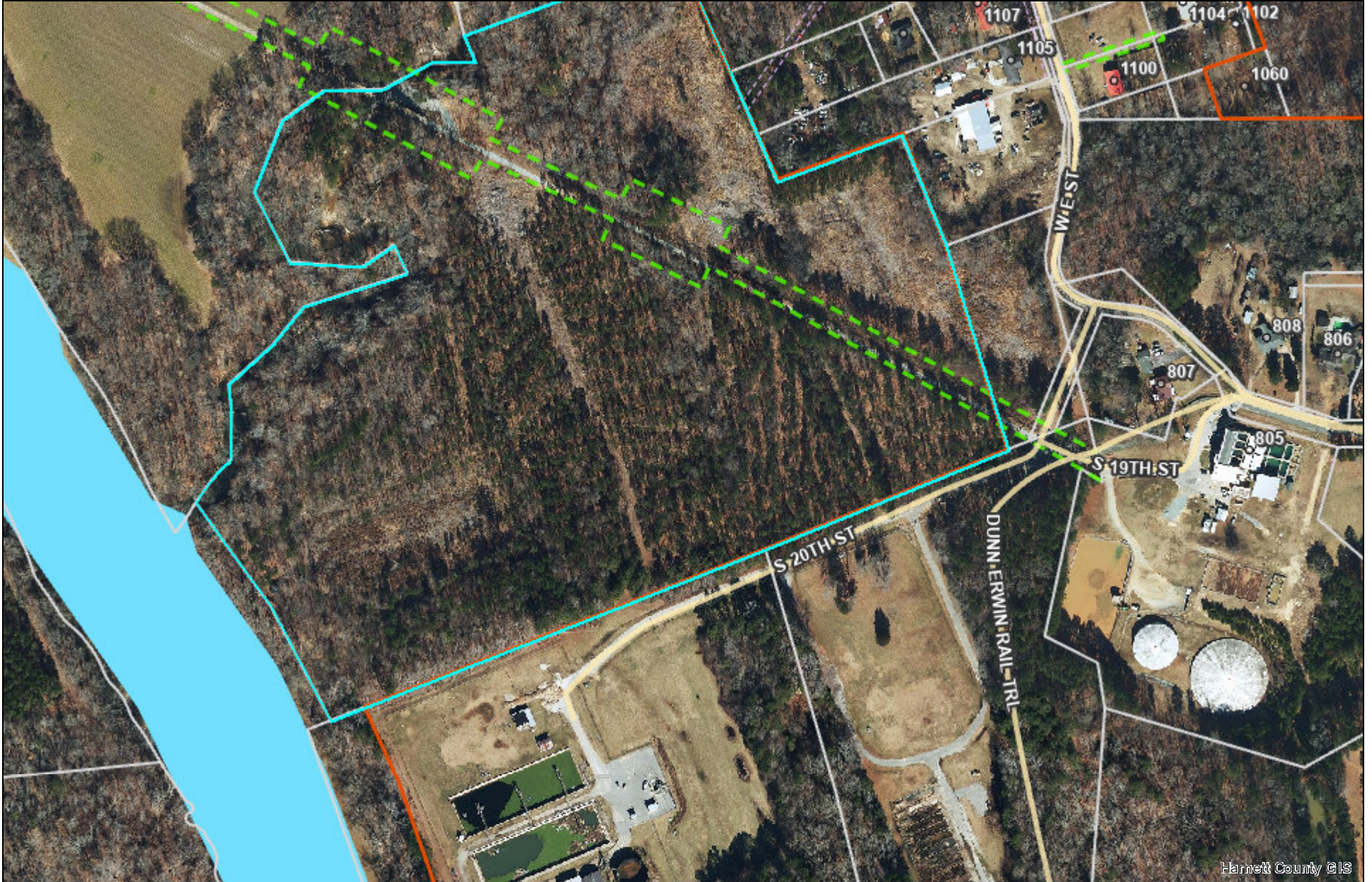
GIS/E-911 Addressing

July 11, 2022







# Harnett GIS

NOT FOR LEGAL USE





Harnett County GIS

GIS/E-911 Addressing  
July 11, 2022

-  Surrounding County Boundaries
-  City Limits
-  County Boundary
-  Address Numbers

 Airport

**MajorRoads**

-  Interstate
-  NC

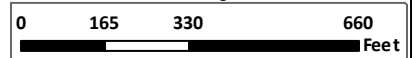
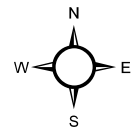
 US

 Roads

**Mile\_Markers**

-  Mile\_Markers

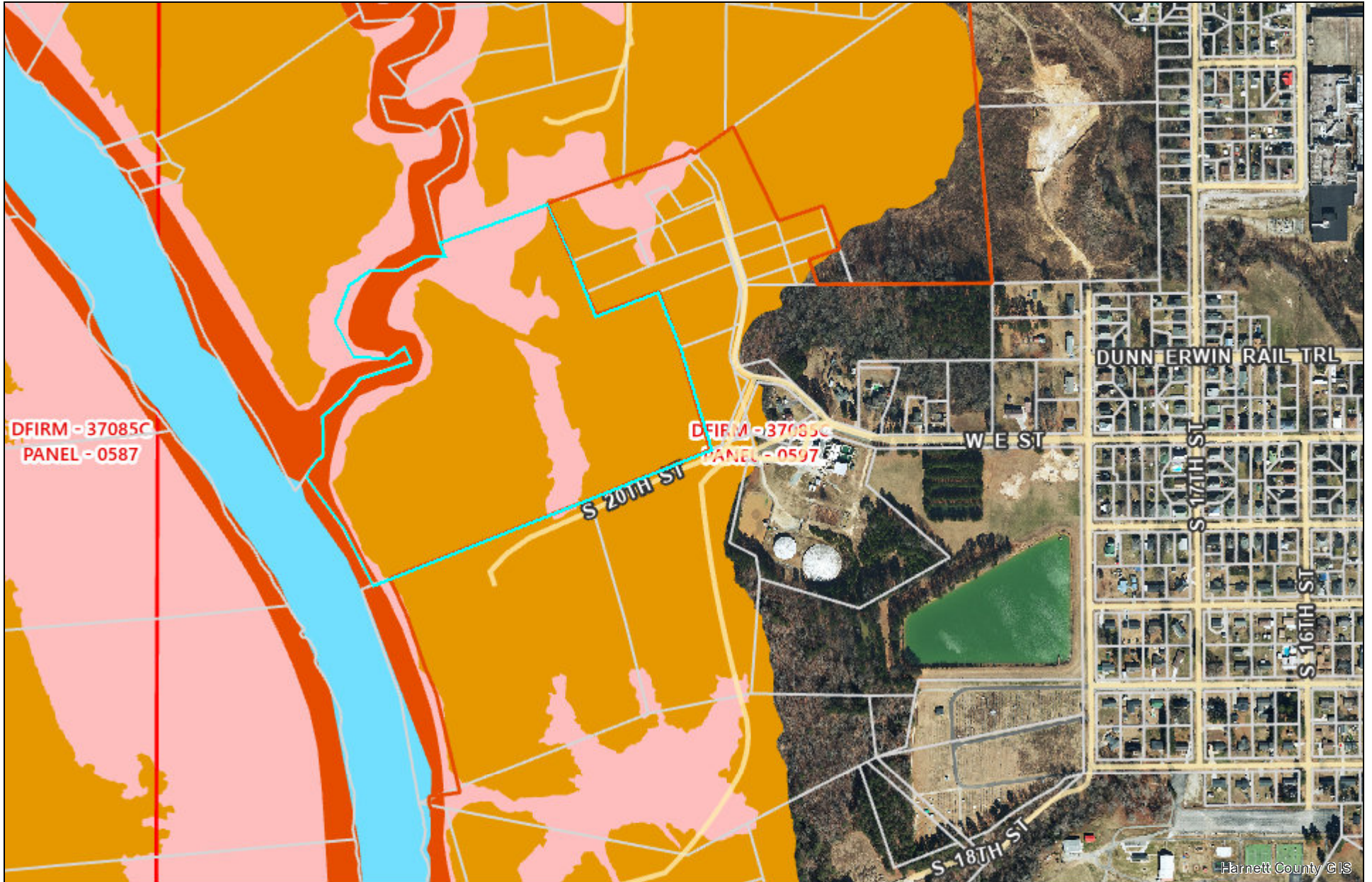
Railroad














1 inch = 376 feet <sup>25</sup>

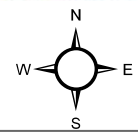
# Harnett GIS

NOT FOR LEGAL USE



GIS/E-911 Addressing  
July 11, 2022

- |   |  |  |   |
|---|--|--|---|
|  Surrounding County Boundaries | <b>MajorRoads</b>  |  Roads        |  Parcels |
|  City Limits                   |  Interstate | <b>Mile_Markers</b>  |   |
|  County Boundary               |  NC         |  Mile_Markers |   |
|  Airport                       |  US         |  Railroad     |   |



1 inch = 752 feet <sup>26</sup>

Harnett County GIS

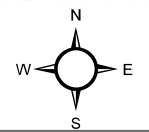
# Harnett GIS

NOT FOR LEGAL USE



Harnett County GIS

- |   |                               |   |                  |   |                  |
|---|-------------------------------|---|------------------|---|------------------|
|  | Surrounding County Boundaries |  | Gravity          |  | Lillington Sewer |
|  | City Limits                   |  | Service Laterals | <b>County Water Mains</b>   |                  |
|  | County Boundary               |  | StepFM           |  | 2 - 5            |
|  | Address Numbers               |  | Sewer Main       |  | 6 - 36           |
|  | Force Main                    |  | Force Main       |   |                  |



1 inch = 376 feet <sup>27</sup>












GIS/E-911 Addressing  
July 11, 2022

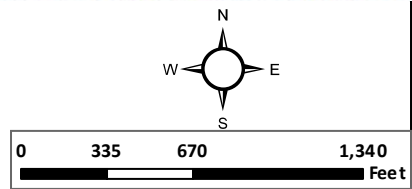
# Harnett GIS

NOT FOR LEGAL USE



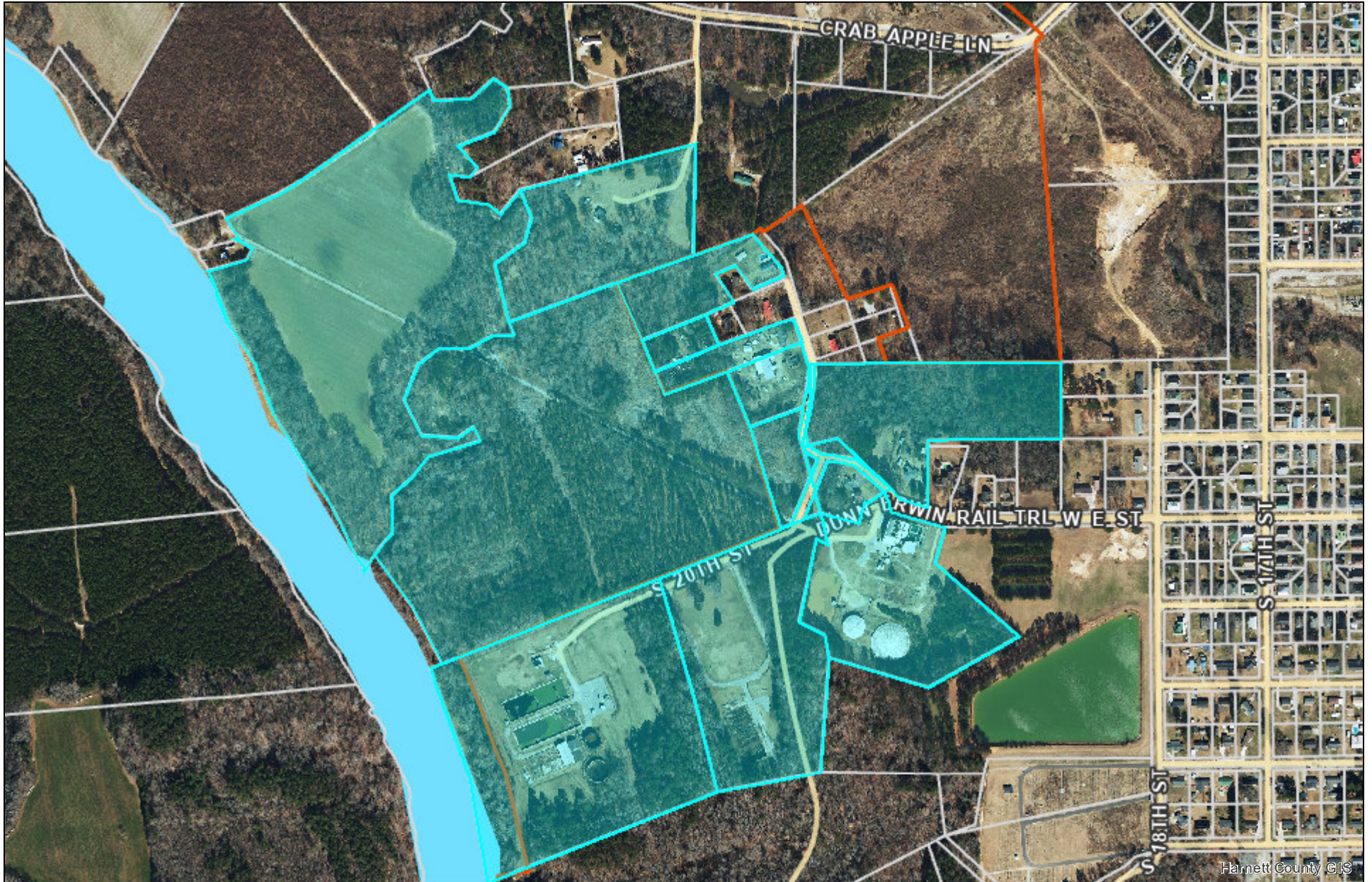
GIS/E-911 Addressing  
July 11, 2022

- |   |  |  |   |
|---|--|--|---|
|  Surrounding County Boundaries | <b>MajorRoads</b>  |  Roads        |  Parcels |
|  City Limits                   |  Interstate | <b>Mile_Markers</b>  |   |
|  County Boundary               |  NC         |  Mile_Markers |   |
|  Airport                       |  US         |  Railroad     |   |















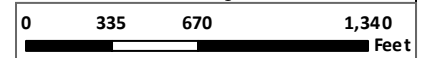
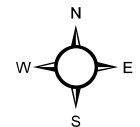
# Harnett GIS

NOT FOR LEGAL USE



Harnett County GIS

- |   |  |   |
|---|--|---|
|  Surrounding County Boundaries | <b>Major Roads</b>   | <b>Mile_Markers</b>   |
|  City Limits                   |  Interstate |  Mile_Markers  |
|  County Boundary               |  NC         |  Railroad      |
|  Airport                       |  US         |  Parcels       |
|   |  Roads      |  CapeFearRiver |



1 inch = 752 feet <sup>29</sup>

GIS/E-911 Addressing  
July 8, 2022

**Owner** - BAYLES JERRY RAY SR & BAYLES FAYE P

**Mailing Address** - P O BOX 343 ERWIN, NC 28339-0000

**Owner** - AGUIRE JUAN CORTES & GUTIERREZ DOLORES NARVAEZ

**Mailing Address** - 8916 WALTER MYATT RD WILLOW SPRING, NC 27592-9377

**Owner** - HOBBS ROY E & HOBBS FAYE F

**Mailing Address** - 1109 WEST E STREET ERWIN, NC 28339-0000

**Owner** - FAIRCLOTH PAUL & FAIRCLOTH BERTHA

**Mailing Address** - 1105 WEST E ST ERWIN, NC 28339-3105

**Owner** - FAIRCLOTH FREDDIE LEE

**Mailing Address** - 1100 WEST E STREET ERWIN, NC 28339-0000

**Owner** - GLOVER LINDA W & WEST RICHARD T

**Mailing Address** - 2664 HIDDEN SPRINGS CT MARIETTA, GA 30062-5763

**Owner** - CRAFFORD JOHN E & CRAFFORD VALERIE

**Mailing Address** - 807 W E ST ERWIN, NC 28339-1914

**Owner** - DUNN CITY OF & A MUNICIPAL CORPORATION

**Mailing Address** - PO BOX 1065 DUNN, NC 28335-1065

**Owner** - HARNETT COUNTY

**Mailing Address** - PO BOX 759 LILLINGTON, NC 27546-0000

Jerry and Faye Bayles  
PO Box 343  
Erwin, NC 28339

Juan Aguire and Dolores Gutierrez  
8916 Walter Myatt Road  
Willow Spring, NC 27592

Roy and Faye Hobbs  
1109 West E Street  
Erwin, NC 28339

Paul and Bertha Faircloth  
1105 West E Street  
Erwin, NC 28339

Freddie Lee Faircloth  
1100 West E Street  
Erwin, NC 28339

Richard West and Linda Glover  
2664 Hidden Springs Court  
Marietta, GA 30062

John and Valerie Crafford  
807 West E Street  
Erwin, NC 28339

The City of Dunn, NC  
ATTN: Steven Neuschafer, City Manager  
PO Box 1065  
Dunn, NC 28335

Harnett County  
ATTN: Brent Trout, County Manager  
PO Box 759  
Lillington, NC 27546

Zach and Arielle Angle  
126 N. Ennis Street  
Fuquay-Varina, NC 27526



# TOWN OF ERWIN

P.O. Box 459 • Erwin, NC 28339  
Ph: 910-897-5140 • Fax: 910-897-5543  
[www.erwin-nc.org](http://www.erwin-nc.org)

**Mayor**  
Randy L. Baker  
**Mayor Pro Tem**  
Ricky W. Blackmon  
**Commissioners**  
Alvester L. McKoy  
Timothy D. Marbell  
Charles L. Byrd  
David L. Nelson  
William R. Turnage

07/11/2022

## **Notice of a Public Hearing** **ZT-2022-004**

The Board of Commissioners of the Town of Erwin will hold a public hearing pursuant to NC General Statute 160D-406 on August 4th, 2022 at 7:00 P.M. at the Erwin Town Hall, 100 West F Street, Erwin, North Carolina to hear public comment on a proposed rezoning request.

There has been a zoning map amendment application submitted to the Town to have a vacant parcel located off of South 20<sup>th</sup> Street rezoned. The property can be identified by its Harnett County PIN # 0597-13-6466.000. The property is currently in our Rural District (RD) Zoning District. The applicant has requested to have this parcel rezoned to our R-10 (Residential) Zoning District.

A copy of this case is available for review at the Erwin Town Hall. Questions concerning this case can be addressed to the Town Manager Snow Bowden at 910-591-4200 or by email at [townmanager@erwin-nc.org](mailto:townmanager@erwin-nc.org).

Regards,

Snow Bowden  
Town Manager

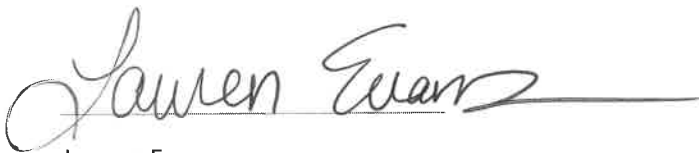


**Statement-of-Consistency**

The requested rezoning to R-10 is compatible with all of the Town of Erwin's regulatory documents and would not only have a positive impact on the surrounding community, but would enhance the public health, safety, and general welfare as stated in the evaluation. It is recommended that this rezoning request be **Approved**.

A handwritten signature in black ink, appearing to read 'RJ Beasley', written over a horizontal line.

RJ Beasley  
Planning Board Chair

A handwritten signature in black ink, appearing to read 'Lauren Evans', written over a horizontal line.

Lauren Evans  
Town Clerk

## Statement-of-Consistency

The requested rezoning to R-10 is compatible with all of the Town of Erwin's regulatory documents and would not only have a positive impact on the surrounding community, but would enhance the public health, safety, and general welfare as stated in the evaluation. It is recommended that this rezoning request be **Approved**.

---

Randy Baker  
Mayor

---

Lauren Evans  
Town Clerk

## Statement-of-Inconsistency

The requested rezoning to R-10 is not compatible with all of the Town of Erwin's regulatory documents and would not have a positive impact on the surrounding community and would not enhance the public health, safety, and general welfare as stated in the evaluation. It is recommended that this rezoning request be **Not Approved**.

---

Randy Baker  
Mayor

---

Lauren Evans  
Town Clerk



# TOWN OF ERWIN

P.O. Box 459 • Erwin, NC 28339  
Ph: 910-897-5140 • Fax: 910-897-5543  
www.erwin-nc.org

**Mayor**  
Randy L. Baker  
**Mayor Pro Tem**  
Ricky W. Blackmon  
**Commissioners**  
Alvester L. McKoy  
Timothy D. Marbell  
Charles L. Byrd  
David L. Nelson  
William R. Turnage

**ORDINANCE FOR MAP AMENDMENT CASE # ZT-2022-004  
AMENDMENT TO THE OFFICIAL ZONING MAP TO REZONE  
FROM RURAL DISTRICT (RD) TO R-10  
PER ZONING ORDINANCE ARTICLE XXIII  
FOR HARNETT COUNTY PIN 0597-13-6466.000.  
ORD 2022-2023: 001**

Per Chapter 36 Zoning, Article XXIII, Changes and Amendments, Harnett County PIN 0597-13-6466.000 owned by Zachary and Arielle Angle has been rezoned to R-10, Case # ZT-2022-004.

**B3398 - P525**

HARNETT COUNTY TAX ID#  
06059914040015 1, 06059914040015 2  
05-03-2016 BY SB

For Registration Kimberly S. Hargrove  
Register of Deeds  
Harnett County, NC  
Electronically Recorded  
2016 May 03 04:36 PM NC Rev Stamp: \$ 0.00  
Book: 3398 Page: 525 Fee: \$ 26.00  
Instrument Number: 2016006002

Submitted electronically by Henderson and Wall, PLLC, in compliance with North Carolina statutes governing recordable documents and the terms of the submitter agreement with the Harnett County Register of Deeds.

Parcel #06059914040015 1, 06059914040015 2 Excise Tax: 0.00	Recording Time, Book & Page:
Prepared by: HAYES, WILLIAMS, TURNER & DAUGHTRY, P.A. 804 West Broad Street Dunn, North Carolina 28334	Mail after recording to: Grantee

**NORTH CAROLINA GENERAL WARRANTY DEED  
NO TITLE CERTIFICATION**

This deed made this 28<sup>th</sup> day of April, 2016, by and between:

<b>GRANTOR:</b> Timothy C. Morris, Administrator of the Estate of Hoover Douglas Moore a/k/a H. Douglas Moore, Deceased. * P.O. Box 794 102-16 S 12th St. Erwin, NC 28339	<b>GRANTEE:</b> ZACHARY ANGLE and wife ARIELLE ANGLE 126 W Ennis St. Raleigh, Virginia, NC 27524
---	--

The designation Grantors and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

**WITNESSETH:** That the Grantor, for a valuable consideration paid by Grantee, the receipt of which is hereby acknowledged, has bargained and sold, and by these presents doth grant, bargain, sell and convey unto the Grantee, in fee simple, all that certain tract or parcel of land lying and being in the Duke Township, Harnett County, North Carolina, and more particularly described as follows:

Being all that certain tract of land designated as Tract No. 26 as shown on Map No. 3 of the Subdivision of the Erwin Mills, Inc. Property made by Moore, Gardner and McMillan, dated January 1954 and recorded in map Book 7, Page 4, Harnett County Registry, to which a reference is hereby made a part of this description.

This property is the same as described in a deed dated February 15, 1954, from L.P. Faircloth and wife, Addie M. Faircloth, to N.V. Stephenson and recorded in Book 350, Page 117, Harnett County Registry.

**THERE IS EXCEPTED from the above described tract the following parcels of land which have heretofore been conveyed therefrom:**

**Parcel I :** That certain parcel containing eight (8) acres, more or less, more fully described in a deed from N.V. Stephenson and wife, Bessie W. Stephenson, to L.P. Faircloth and wife, Addie M. Faircloth, said deed dated February 17, 1954, and recorded in Book 350, Page 114, Harnett County Registry.

**Parcel II :** That certain parcel containing 16.5 acres, more or less, more fully described in a deed from N.V. Stephenson to E. M. Currin, dated June 29, 1955, and recorded in Book 365, Page 241, Harnett County Registry.

**Parcel III :** That certain parcel containing 3.068 acres, more or less, more fully described upon a map of survey entitled "Property of the Town of Dunn, Duke Township, Harnett County, N.C. made by Arthur R. Denning, Registered Land Surveyor, dated December 24, 1964, and recorded in Map Book 11, Page 88, Harnett County Registry; said tract being also described in a deed dated February 4, 1965, from N.V. Stephenson to The Town of Dunn and recorded in Book 464, Page 90, Harnett County Registry.

**Parcel IV:** That certain parcel containing 2.11 acres, more or less, more fully described in a deed dated February 24, 1965, from N.V. Stephenson, Sr. to Paul Faircloth and wife, Bertha Lee Faircloth, and recorded in Book 465, page 107, Harnett County Registry.

This conveyance is made subject to those certain restrictions, reservations, and easements contained in a deed from Erwin Mills, Inc. to L.P. Faircloth and wife, which is recorded in Book 352, Page 88, Harnett County Registry; this conveyance is also made subject to all existing right-of-way agreements with the Town of Dunn and the Town of Erwin for sewage and/or water lines and to all existing utility lines easements and especially to that utility line easement dated February 8, 1967, from N.V. Stephenson, Sr. to Carolina Power and Light Company and recorded in Book 480, Page 224, Harnett County Registry. Reference should be made to that map recorded in Map Book 7, Page 4, Harnett County Registry. See also Deed Book 540, Page 169, Harnett County Registry

The property hereinabove described and being was acquired by Grantors in Estate of H. Douglas Moore filed in Estate File: 14 E 499, Harnett County Registry.

TO HAVE AND TO HOLD the aforesaid tract or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantors covenant with the Grantee, that Grantor is seized of said premises in fee simple, has right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and will forever defend the said title against the lawful claims of all persons whomsoever, except the following:

IN TESTIMONY WHEREOF, the Grantor has hereunto set his hand and seal, the day and year first above written.

Timothy C. Morris (SEAL)  
Timothy C. Morris, Administrator

NORTH CAROLINA  
COUNTY OF HARNETT

I, Karen P. Lamm Notary Public, hereby certify that **Timothy C. Morris, Administrator of the Estate of Hoover Douglas Moore a/k/a H. Douglas Moore** personally appeared before me this day and acknowledged the due execution of the foregoing Deed of Conveyance.

Witness my hand and notarial seal, this 28<sup>th</sup> day of April, 2016.

Karen P. Lamm  
Notary Public  
My Comm. Expires: 9/21/20



Adopted this the 4<sup>th</sup> day of August 2022.

\_\_\_\_\_  
Randy Baker,  
Mayor

**ATTEST:**

\_\_\_\_\_  
Lauren Evans  
Town Clerk

# Erwin Board of Commissioners

## REQUEST FOR CONSIDERATION

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To: The Honorable Mayor and Board of Commissioners

From: Snow Bowden, Town Manager

Date: August 4, 2022

Subject: Bryant Road Subdivision Preliminary Plat

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The Town of Erwin has received the preliminary subdivision plat for a subdivision that would be located off of St. Matthews Road and Bryant Road. The preliminary plat includes 219 single family units. The preliminary plat includes 143 detached single family dwellings and 76 townhome units. Town home units are consider single family dwellings as well.

Attachments:

- Subdivision Preliminary Plat

**CONTACT INFORMATION**

**DEVELOPER**  
 OLD EAST PROPERTIES, LLC  
 410 N. BOYLAN AVENUE  
 RALEIGH, NC  
 CONTACT: MARK ESENBES  
 PHONE: 919.825.1135

**OWNER**  
 KOLOSKY, MARK  
 999 CARLTON ST., CLAYTON, NC 27520  
 PARCEL: 1507-35-0329

**OWNER**  
 TART, CARPER JR & KARA  
 200 MURDOCK C ROAD, CAMERON, NC 28326  
 PARCEL: 1507-34-7604  
 PARCEL: 1507-45-1001

**REFERENCES**

**SURVEY**  
 GALLOWAY GEOSPATIAL INFORMATICS AND SURVEYING  
 7405 WALNUT GROVE LANE  
 ZEBULAN, NC  
 CONTACT: CALE GALLOWAY, PLS, QISP, CFM  
 PHONE: 252.565.2657

**GEOTECHNICAL ENGINEER**  
 THREE OAKS ENGINEERING  
 524 BLACKWELL STREET  
 DURHAM, NC  
 CONTACT: EVAN MORGAN  
 PHONE: 919.732.1300

**ENVIRONMENTAL ENGINEER**  
 SAGE ECOLOGICAL SERVICES, INC.  
 3707 SWIFT DRIVE  
 RALEIGH, NC  
 CONTACT: SEAN CLARK, PWS  
 PHONE: 919.559.1537

**REVIEW AGENCIES / UTILITY CONTACTS**

**PLANNING DEPARTMENT**  
 TOWN OF ERWIN  
 100 West F Street  
 PO BOX 459, Erwin, NC 28339  
 CONTACT: SNOW BOWDEN (TOWN MANAGER)  
 PHONE: 910.897.5140

**ERWIN ENGINEERING REVIEW**  
 DM2 ENGINEERING, PLLC  
 7834 TRAP WAY  
 WILMINGTON, NC  
 CONTACT: WILLIAM W. (BILL) DREITZLER, PE  
 PHONE: 919.818.2235

**REGIONAL WATER & WASTEWATER UTILITY**  
 HARNETT COUNTY DEPARTMENT OF PUBLIC UTILITIES  
 700 MCKINNEY PARKWAY  
 ULLINGSTON, NC  
 PHONE: 910.893.7575

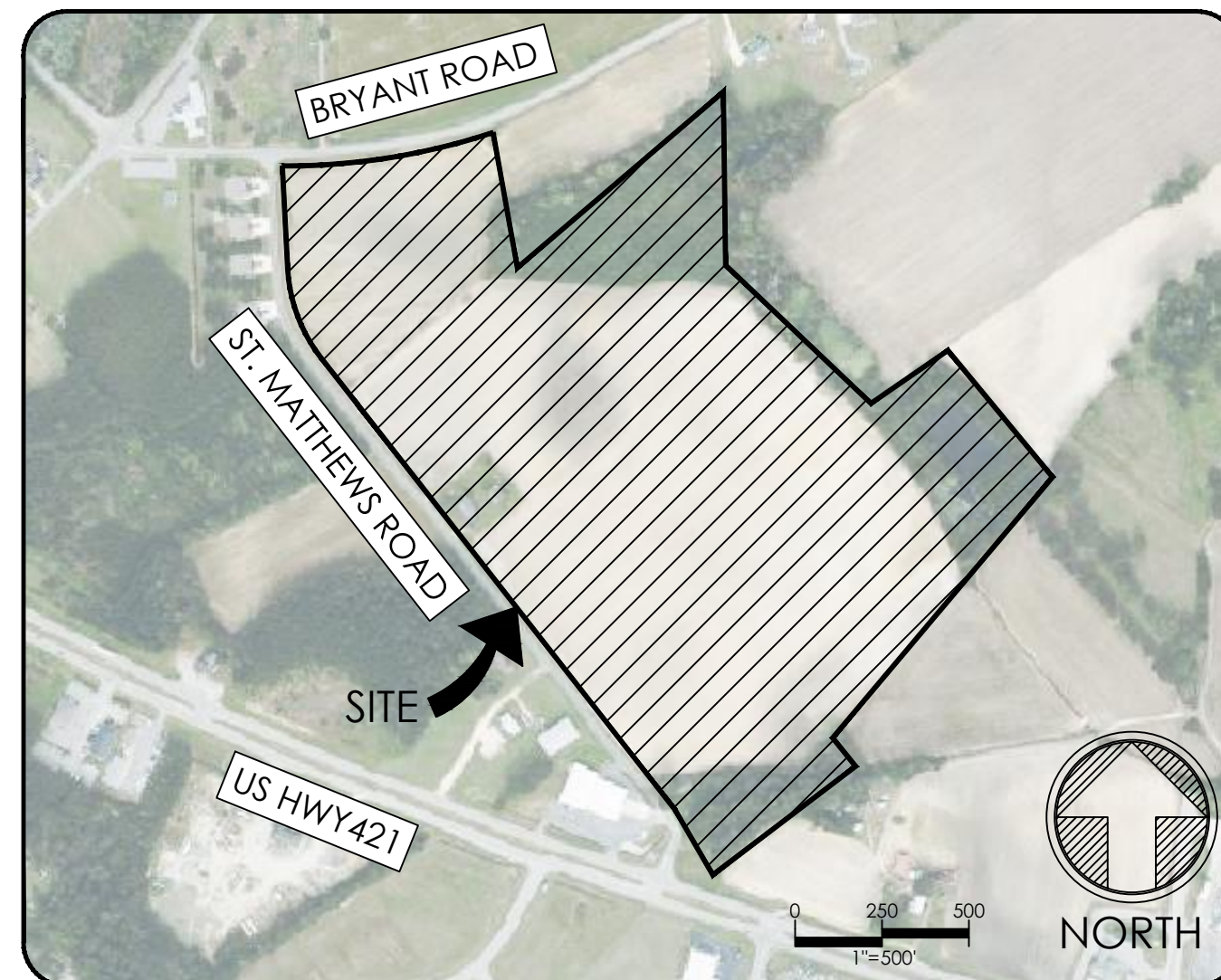
**STORMWATER**  
 NCDOT  
 3800 BARRETT DRIVE  
 RALEIGH, NC 27609  
 PHONE: 919.791.4200

# BRYANT ROAD SUBDIVISION PRELIMINARY PLAT

## UNDERFOOT PROJECT - C21023.00

### TOWN OF ERWIN ZT-2022-01

LOCATION:  
 504 ST. MATTHEW ROAD  
 HARNETT COUNTY  
 ERWIN, NC



**PROJECT NARRATIVE**

- THIS IS A PRELIMINARY PLAT SUBMITTAL FOR A 219 LOT PROJECT ON ST. MATTHEWS ROAD AND BRYANT ROAD AND IS ZONED IN THE TOWN OF ERWIN AS CONDITIONAL USE (ERWIN R6-CU, ZT-2022-01).

**ZONING CONDITIONS**

- A 10-FOOT BUFFER WILL BE PROVIDED AROUND THE PROPERTY, OUTSIDE OF PRIVATE LOTS.
- TOWNHOMES SHALL BE ADDED AS AN ALLOWABLE RESIDENTIAL USE AND TOWNHOME LOT WIDTHS SHALL CONFORM TO BUILDER PRODUCT WIDTHS AND NOT LIMITED BY ZONING MINIMUM LOT WIDTH.
- MINIMUM REQUIRED PARKING SHALL BE TWO PARKING SPACES PER DWELLING UNIT. DWELLING UNITS CAN ACHIEVE MINIMUM REQUIRED PARKING IN DRIVEWAYS, GARAGES, ON-STREET PARKING, OR OFF-STREET PARKING LOTS, OR A COMBINATION OF ANY OF THE ABOVE.
- ANNEXATION: THE DEVELOPMENT SHALL BE ANNEXED INTO TOWN LIMITS PRIOR TO ANY APPROVAL FOR FINAL PLATS.
- SIGNAGE: MONUMENT SIGNS SHALL BE MADE OF BRICK, STONE, OR MASONRY MATERIAL.
- SETBACKS (RESIDENTIAL BUILDINGS): SETBACKS SHALL BE MEASURED FROM THE LOT LINE TO THE BUILDING WALL, BUILDING EAVES, AT-GRADE PATIOS, AND AT-GRADE STOOPS SHALL BE ALLOWED IN THE SETBACK AREA. THE MINIMUM SETBACKS FROM THE LOT LINES TO THE BUILDINGS FOR EACH RESIDENTIAL USE TYPE SHALL BE AS FOLLOWS:

LAND USE TYPE	MINIMUM FRONT SETBACK	MINIMUM SIDE SETBACK	MINIMUM SIDE SETBACK (ADJACENT TO STREET)	MINIMUM REAR SETBACK
SINGLE FAMILY DETACHED	20'	8'	10'	20'
SINGLE FAMILY ATTACHED	20'	MIN. SEPARATION DICTATED BY FIRE CODE	10'	MIN. SEPARATION DICTATED BY FIRE CODE

- STREET SIGNAGE: STREET SIGNAGE, IF PROPOSED TO BE DECORATIVE AND DIFFERENT FROM TOWN OF ERWIN SIGNS, MUST BE IN ACCORDANCE WITH THE LATEST VERSION OF THE TOWN OF ERWIN STREET AND NCDOT SPECIFICATIONS.
- STREETLIGHTS: THE DEVELOPER SHALL COORDINATE WITH THE ELECTRICAL UTILITY PROVIDER ON THE LIGHTING PLAN LAYOUT AND AVAILABLE STREETLIGHT FIXTURES.
- ENTRANCES: ALL SUBDIVISION ENTRANCES SHALL BE REVIEWED AND APPROVED BY THE TOWN OF ERWIN AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DURING THE APPROPRIATE SITE PLAN APPROVAL PROCESS.
- DRIVEWAYS: ALL INDIVIDUAL DRIVEWAYS SHALL BE CONCRETE AND ABLE TO ACCOMMODATE AT LEAST ONE VEHICLE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY (INCLUSIVE OF THE GARAGE).
- OPEN SPACE: ALL LANDS WITHIN AREAS REQUIRED TO BE MAINTAINED AS OPEN SPACE BY THE HOMEOWNERS ASSOCIATION, OR IF APPLICABLE A HOMEOWNER'S ASSOCIATION MANAGEMENT FIRM, SHALL BE PROTECTED BY A PERMANENT CONSERVATION EASEMENT AND RESTRICTIVE COVENANT, PROHIBITING FURTHER DEVELOPMENT, AND RECORDED UPON FINAL PLAT APPROVAL AS "OPEN SPACE."
- BUILDING MATERIALS: EXTERIOR BUILDING MATERIALS WILL BE BRICK OR STONE VENEER, VINYL, OR FIBER CEMENT SIDING.
- STORMWATER: STORMWATER QUALITY AND QUANTITY CONTROLS WILL BE INSTALLED ACCORDING TO MUNICIPAL AND NCDOT REQUIREMENTS.
- NUISANCE: CONSTRUCTION ACTIVITIES SHALL BE SUBJECT TO TOWN OF ERWIN GRADING AND BUILDING PERMIT RULES, AND AN APPROVED EROSION CONTROL PLAN WILL BE FOLLOWED TO LIMIT DUST, NOISE, AND SEDIMENT POLLUTION AS REQUIRED. BUILDINGS AND SITE INSPECTORS WILL HAVE ACCESS TO THE SITE TO ENFORCE ALL APPLICABLE CONSTRUCTION ORDINANCES. CONSTRUCTION SHALL BE SUBJECT TO ALL TOWN NOISE ORDINANCES, PUBLIC AND PRIVATE UTILITY REGULATIONS, AND LOCAL, COUNTY, AND STATE LAWS.
- ELEVATIONS: NO TWO ADJACENT LOTS OR LOTS DIRECTLY ACROSS THE STREET FROM ONE ANOTHER, EXCLUDING LOTS SEPARATED BY A STREET, OPEN SPACE, OR EASEMENT 50' WIDE OR GREATER, SHALL UTILIZE THE SAME ELEVATION OF THE SAME PRODUCT FOOTPRINT.
- OPEN SPACE: ALL LANDS WITHIN AREAS REQUIRED TO BE MAINTAINED AS OPEN SPACE BY THE HOMEOWNERS ASSOCIATION SHALL BE PROTECTED BY A PERMANENT RESTRICTIVE COVENANT, PROHIBITING FURTHER DEVELOPMENT, AND RECORDED UPON FINAL PLAT APPROVAL AS "OPEN SPACE".
- FIRE CODE: DEVELOPMENT MUST COMPLY WITH THE LATEST EDITION OF THE NC FIRE PREVENTION CODE OR CURRENT EDITION ADOPTED FOR USE BY THE TOWN OF ERWIN AND HARNETT COUNTY. THIS INCLUDES, BUT IS NOT LIMITED TO, REQUIREMENTS RELATED TO ACCESS ROADWAYS, HYDRANT LOCATIONS, AND BUILDING MATERIALS.
- HOMEOWNERS ASSOCIATION: ALL OWNERS OF DEVELOPABLE LOTS SHALL IMMEDIATELY BECOME MEMBERS OF A HOMEOWNERS ASSOCIATION. A DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND BYLAWS FOR THE HOMEOWNERS ASSOCIATION SHALL BE REVIEWED, APPROVED, AND RECORDED WITH THE FINAL PLAT. THE HOMEOWNERS ASSOCIATIONS SHALL BE PROFESSIONALLY MANAGED AND SHALL BE IN PLACE TO ENFORCE AND ABATE ALL COMMUNITY ASSOCIATION COVENANTS, CONDITIONS, AND RESTRICTIONS, AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF ALL OPEN SPACE AND IMPROVEMENTS BUILT THROUGHOUT THE DEVELOPMENT, INCLUDING THE MAINTENANCE AND UPKEEP OF ALL DRAINAGE EASEMENTS AND DETENTION/RETENTION/WATER QUALITY DEVICES.

**SITE DATA**

PARCEL IDENTIFICATION NUMBER	0757-01-06-9581
EXISTING PARCEL ACREAGE (AC.)	54.82
EXISTING USE	VACANT
PROPOSED USE	RESIDENTIAL - SINGLE FAMILY DETACHED & ATTACHED HOMES
ZONING	ERWIN R6-CU (ZT-2022-001)
DEVELOPMENT TIER	SUBURBAN
WATERSHED	UPPER BLACK RIVER WATERSHED
RIVER BASIN	CAPE FEAR
FIRM PANEL	37201504600J, EFFECTIVE 10/03/2006
<b>SUBDIVISION INFORMATION:</b>	
SINGLE FAMILY UNITS	REQUIRED PROPOSED
50' X 120'	- 143 DU
26' X 100'	- 32 DU
22' X 100'	- 44 DU
TOWNHOUSE TOTAL	- 74 DU
TOTAL DWELLING UNITS	- 219 DU
DENSITY	N/A 3.99 DU/AC.
MINIMUM LOT SIZE <sup>1</sup>	6000 SF. 6000 SF.
MINIMUM LOT WIDTH (DETACHED)	50 FT 50 FT MIN
MINIMUM LOT WIDTH (ATTACHED)	N/A 22 FT
<b>SETBACK REQUIREMENTS</b>	
SINGLE FAMILY DETACHED BUILDING SETBACK	
FRONT	20 FT 20 FT
SIDE	8 FT 8 FT
CORNER	10 FT 10 FT
REAR	20 FT 20 FT
SINGLE FAMILY ATTACHED BUILDING SETBACK	
FRONT	20 FT 20 FT
SIDE <sup>2</sup>	SEE NOTE <sup>2</sup> SEE NOTE <sup>2</sup>
CORNER	10 FT 10 FT
REAR <sup>2</sup>	SEE NOTE <sup>2</sup> SEE NOTE <sup>2</sup>
<b>PARKING REQUIREMENTS</b>	
VEHICLE <sup>3</sup>	438 438 MIN.
MAX BUILDING HEIGHT (FT)	35 35 MAX
TOTAL STREET LENGTH	7146 LF 7146 LF
TOTAL OPEN SPACE	900,464 SF. 20.67 AC.

NOTE:  
<sup>1</sup> FOR SINGLE FAMILY DETACHED LOTS ONLY.  
<sup>2</sup> PER ZONING CONDITION #6, MINIMUM SEPARATED WILL BE DICTATED BY NC FIRE PREVENTION CODE OR CURRENT EDITION ADOPTED FOR USE BY THE TOWN OF ERWIN AND HARNETT COUNTY.  
<sup>3</sup> PER ZONING CONDITION #3, MINIMUM PARKING REQUIREMENTS SHALL BE TWO (2) PARKING SPACES PER DWELLING UNIT.

**SHEET INDEX**

#	COVER SHEET	SHEET NAME
C-000	COVER SHEET	
C-100	EXISTING CONDITIONS & DEMOLITION PLAN	
C-200	SUBDIVISION PLAN	
C-300	PRELIMINARY GRADING & DRAINAGE PLAN	
C-400	PRELIMINARY UTILITY PLAN	

**ISSUED FOR APPROVAL**

\_\_\_\_\_  
 SIGNATURE DATE

\_\_\_\_\_  
 SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY UNDERFOOT ENGINEERING WITHOUT TWO SIGNATURES ABOVE

PROJECT #: C21023

REVISION DATE: 2022.07.08

**PLAN REVISIONS**

#	DATE	REVISION	BY



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PROJECT:

## BRYANT ROAD PRELIMINARY PLAT

504 ST MATTHEWS ROAD  
 ERWIN, NC 28339

PROJECT #: C21023  
 DRAWN BY: JT  
 REVIEWED BY: MAR  
 1ST SUBMITTAL: 2022.07.08  
 SCALE: AS NOTED

FOR REVIEW  
 AND APPROVAL

PREPARED FOR:

OLD EAST PROPERTIES

PREPARED BY:



**underfoot  
 ENGINEERING**

1149 EXECUTIVE CIRCLE  
 CARY, NC 27511  
 P:919.576.9733  
 NCBELS # C-3847

SEALED:



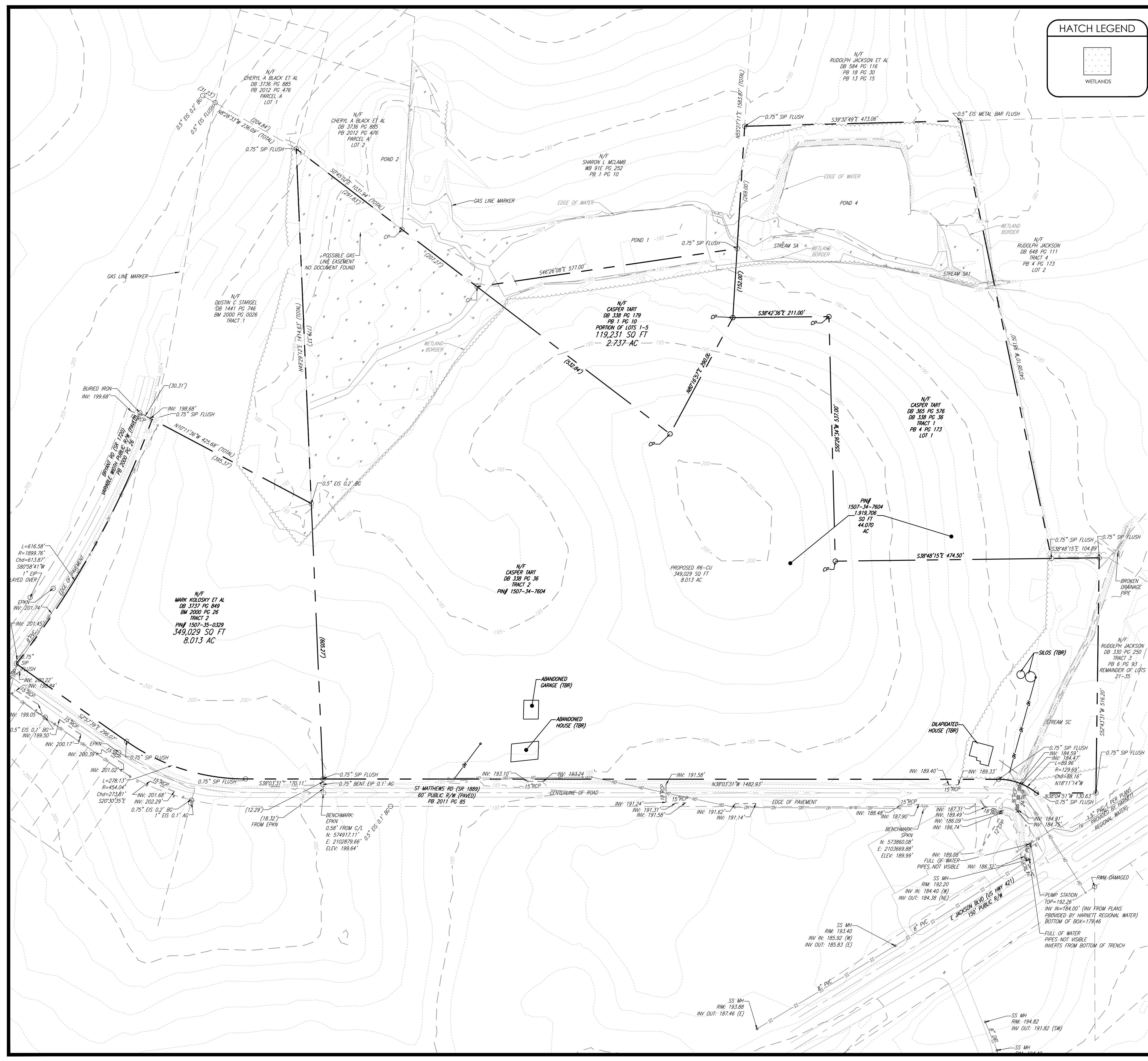
SHEET:

COVER SHEET

C-000



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### HATCH LEGEND

WETLANDS

- ### GENERAL NOTES
- ALL CONSTRUCTION, MATERIALS, AND METHODS SHALL BE IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, DETAILS, AND CONDITIONS OF APPROVAL, AND SHALL CONFORM TO ALL APPLICABLE RULES, REGULATIONS, LAWS, ORDINANCES, CODES, AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEY HAVE THE LATEST EDITION OF THE FOLLOWING DOCUMENTS WHICH ARE INCORPORATED BY REFERENCE:
    - EXISTING SURVEY AND TOPOGRAPHIC INFORMATION IS BASED ON FIELD SURVEY PROVIDED BY GALLOWAY GEOSPATIAL INFORMATICS AND SURVEYING.
    - GEOTECHNICAL INVESTIGATION REPORT BY THREE OAKS ENGINEERING.
    - ENVIRONMENTAL SITE ASSESSMENT BY SAGE ECOLOGICAL SERVICES, INC.
  - THERE ARE NO FEMA FLOODPLAINS CONTAINED ON THIS SITE PER FIRM PANEL 3720150600J EFFECTIVE DATE OCTOBER 9, 2003.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATIONS, APPROVALS, AND OTHER REQUIREMENTS WHICH MUST BE MET HAVE BEEN OBTAINED, INCLUDING ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. COPIES SHALL REMAIN ON SITE AT ALL TIMES.
  - CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING WORK ADJACENT TO PAVEMENT AND STRUCTURES WHICH ARE TO REMAIN, AND SHALL TAKE ALL APPROPRIATE MEASURES TO ENSURE STABILITY OF PAVEMENT, BUILDINGS, AND INFRASTRUCTURE TO REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ACTUAL IN PLACE SUB-SURFACE UTILITY INFORMATION INCLUDING HORIZONTAL AND VERTICAL LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES AND HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
  - IF DEPARTURES FROM PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY INFRASTRUCTURE REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF ASSOCIATED WORK.
  - THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS, AND ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR IDENTIFICATION OR REPORTING OF ANY JOB SITE SAFETY ISSUES AT ANY TIME.
  - THE ENGINEER WILL REVIEW CONTRACTOR SUBMITTALS, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR GENERAL CONFORMANCE WITH DESIGN INTENT. REVIEWS DO NOT INDICATE THE ENGINEER HAS REVIEWED THE ENTIRE ASSEMBLY OF THE ITEM AS A COMPONENT, AND MEANS AND METHODS AND COORDINATION WITH OTHER TRADES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - AS CONTAINED IN DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION EXPRESS PROFESSIONAL OPINION IN ACCORDANCE WITH COMMONLY ACCEPTED STANDARDS OF PRACTICE AND DO NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

### DEMOLITION LEGEND

TYPICAL EXISTING NOTE	TYPICAL DEMOLITION / REMOVAL NOTE
---	EASEMENT LINE
=====	CONCRETE CURB & GUTTER
○	UTILITY POLE
□	TYPICAL LIGHT
□	TYPICAL SIGN
---	SANITARY SEWER LATERAL
---	UNDERGROUND WATER LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND GAS LINE
---	OVERHEAD WIRE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND CABLE LINE
---	STORM SEWER
---	SANITARY SEWER MAIN
○	HYDRANT
○	SANITARY MANHOLE
○	STORM JUNCTION BOX
○	WATER METER
○	WATER VALVE
(TBR)	TO BE REMOVED / RELOCATED

100 50 0 100 200  
GRAPHIC SCALE

NORTH

1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
P: 919.576.9733  
NCBELS # C-3847

SEALED:

SHEET: **EXISTING CONDITIONS & DEMOLITION PLAN**  
**C-100**

### PLAN REVISIONS

#	DATE	REVISION	BY

**811**

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PROJECT: **BRYANT ROAD PRELIMINARY PLAT**

504 ST MATTHEWS ROAD  
ERWIN, NC 28339

PROJECT #: C21023  
DRAWN BY: JT  
REVIEWED BY: MAR  
151 SUBMITAL: 2022.07.08  
SCALE: 1" = 100'

FOR REVIEW AND APPROVAL

PREPARED FOR: OLD EAST PROPERTIES

PREPARED BY:

**underfoot ENGINEERING**

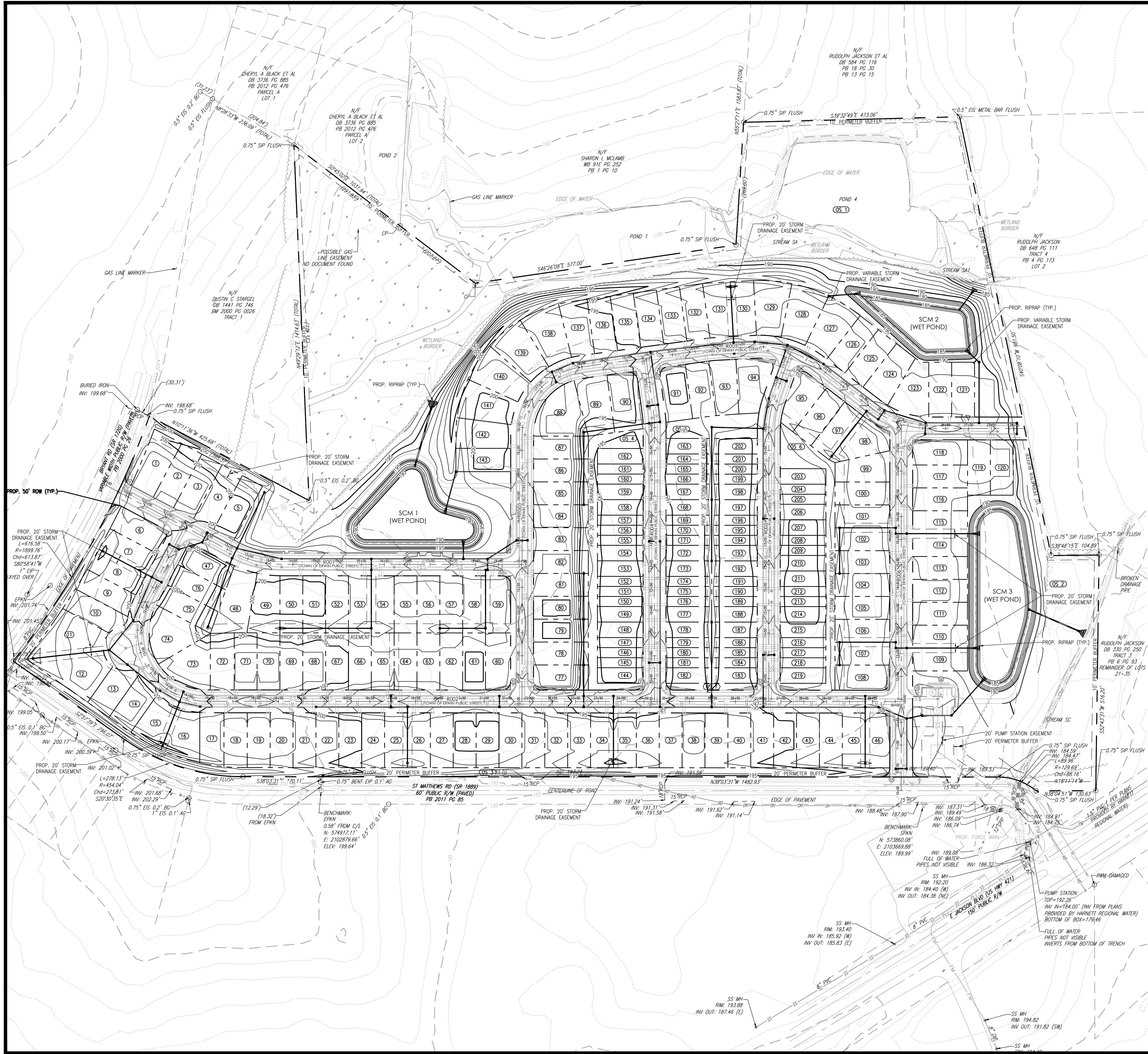
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**C-100**



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### GRADING AND DRAINAGE NOTES

- REFER TO GENERAL NOTES ON SHEET C-100.
  - ALL SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR IS RESPONSIBLE FOR MOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT.
  - ALL FILL COMPACTION, AND BACKFILL MATERIALS REQUIRED SHALL BE PER THE RECOMMENDATIONS PROVIDED IN A GEOTECHNICAL REPORT. WHEN THE PROJECT DOES NOT HAVE A GEOTECHNICAL REPORT, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH STATE DOT REQUIREMENTS AND SPECIFICATIONS. THE ENGINEER SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION, AND BACKFILL.
  - THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLAND, GUTTERS, AND CURBS: 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS LIMIT GRADES). TO PREVENT PONDING.
- ALL PROPOSED CONTOURS IN ROADWAYS, DRIVES, AND SIDEWALKS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
  - UNLESS OTHERWISE NOTED, ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SLT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS NOTED, IT MUST CONFORM TO AASHTO M294 TYPE S (SMOOTH INTERIOR) WITH GASKETS FOR WATER TIGHT JOINTS INSTALLED TO ASTM D3212 AND F477 SPECIFICATIONS. PVC PIPE WHEN USED FOR ROOF DRAIN CONNECTIONS MUST BE SDR 26 OR SCHEDULE 40 UNLESS OTHERWISE NOTED WITH WATER TIGHT, WELDED JOINTS AND TIED TO THE STORMWATER SYSTEM WITH WATER TIGHT JOINTS. PIPE LENGTHS ARE NOMINAL AND MEASURED CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
  - FINAL GRADING AND EROSION CONTROL PLANS SHALL BE DEVELOPED AT TIME OF CONSTRUCTION DRAWINGS.

### GRADING LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	CONTOUR LINE	---
349.5	SPOT ELEVATIONS	TC 349.00 BC 349.50 BC 349.00
SANITARY LABEL	SANITARY LABEL	MH XXX
STORM LABEL	STORM LABEL	STM XXX
●	STORM JUNCTION BOX	●
▼	TYPICAL END SECTION	▼
▾	HEADWALL OR ENDWALL	▾
■	CATCH BASIN	■
○	MONITORING WELL	N/A
⊕	BORING	N/A
⊙	BENCHMARK	N/A
+	TEST PIT	+

### PLAN REVISIONS

#	DATE	REVISION	BY



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PROJECT:

## BRYANT ROAD PRELIMINARY PLAT

504 ST MATTHEWS ROAD  
ERWIN, NC 28339

PROJECT #: C21023  
DRAWN BY: JT  
REVIEWED BY: MAR  
1ST SUBMITAL: 2022.07.08  
SCALE: 1" = 100'

FOR REVIEW  
AND APPROVAL

PREPARED FOR:

OLD EAST PROPERTIES

PREPARED BY:



**underfoot**  
ENGINEERING  
1149 EXECUTIVE CIRCLE  
CARY, NC 27511  
P: 919.576.5733  
NCBELS # C-3847

SEALED:



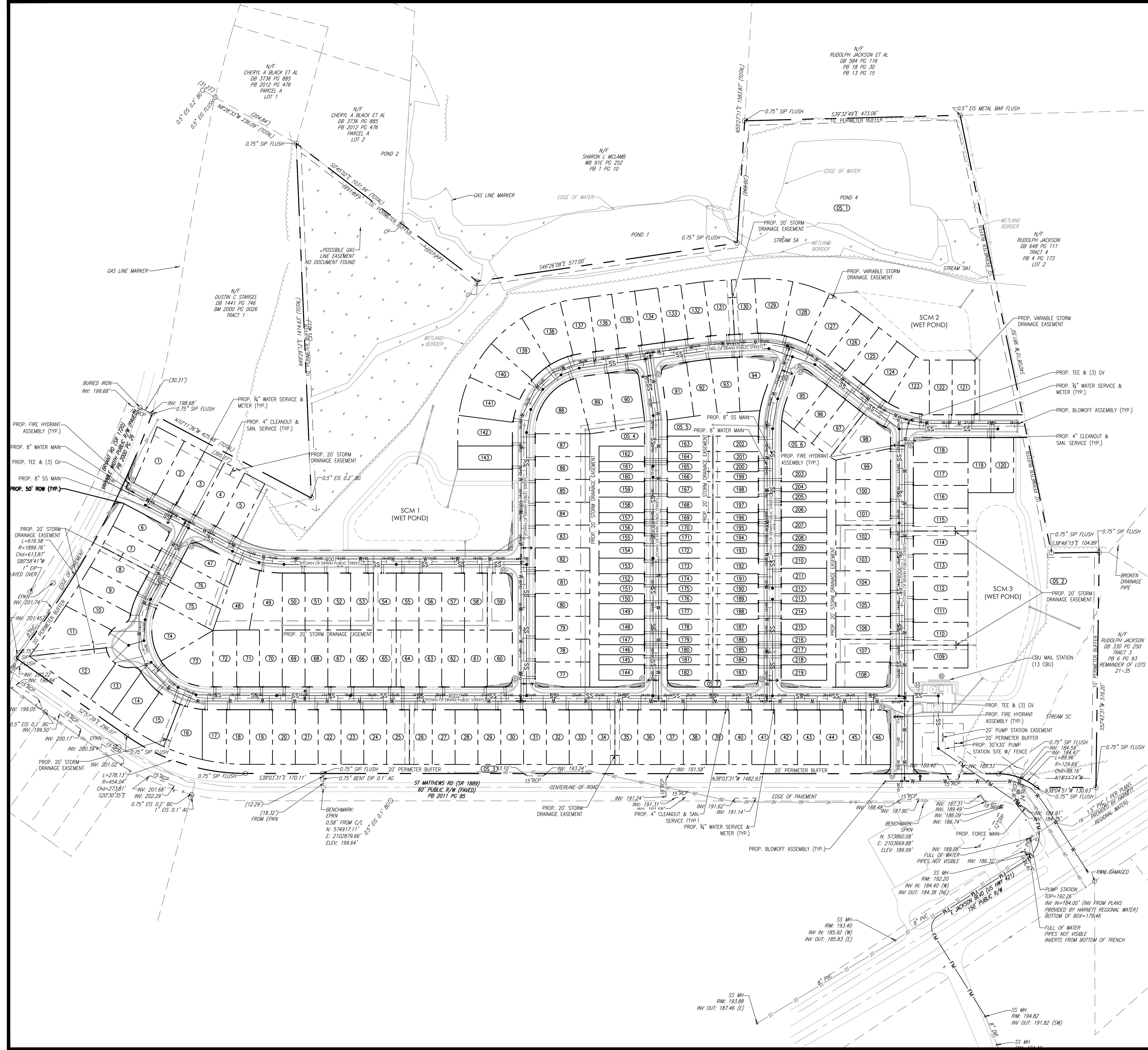
SHEET:

## PRELIMINARY GRADING & DRAINAGE PLAN

C-300



X:\CIVIL\PROJECTS\2021\NC1023 - BRYANT ROAD\DRAWINGS\PLAN SETS\PRELIMINARY\PLAN SETS\PRELIMINARY PLAN C-400.DWG PRINTED BY: JEFFREY BAROADA 6/30/22 @ 4:57 PM. LAST SAVED BY: JEFFREY BAROADA



- ### UTILITY NOTES
- REFER TO GENERAL NOTES SHEET C-100
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ERWIN AND HARNETT COUNTY STANDARD SPECIFICATIONS AND DETAILS THAT ARE CURRENT AT THE TIME OF PLAN APPROVAL.
  - THIS PLAN DETAILS PRELIMINARY UTILITY LOCATIONS MEETING HORIZONTAL SEPARATION REQUIREMENTS OF HARNETT COUNTY, AND BY EXTENSION, NORTH CAROLINA STATE STANDARDS, FINAL UTILITY DRAWINGS, INCLUDING PROFILE VIEWS SHOWING VERTICAL SEPARATION, SHALL BE DEVELOPED AND SUBMITTED TO HARNETT COUNTY PRIOR TO FINAL CONSTRUCTION DRAWING APPROVAL.
  - CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHOWN ON PLANS IS BASED ON BEST AVAILABLE INFORMATION BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
  - MINIMUM SLOPE FOR 4" SANITARY SERVICES SHALL BE 1%. ALL CLEANOUTS SHALL BE INSTALLED PER FUQUAY VARINA STANDARDS AND SPECIFICATIONS.
  - NO DRY UTILITIES (SUCH AS CABLE, PHONE, POWER) SHALL BE ALLOWED TO RUN LONGITUDINALLY UNDER PAVEMENT AND SHOULD BE INSTALLED BEHIND THE CURB.
  - ALL ELECTRICAL AND TELECOMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND WITHIN THE SUBDIVISION AND SHALL BE FIELD COORDINATED AT TIME OF CONSTRUCTION.
  - THIS DESIGN MEETS ALL CURRENT TOWN OF ERWIN, HARNETT COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS.
  - WATER LOCATIONS ARE SHOWN GRAPHICALLY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE LINES PER COUNTY STANDARDS AND SPECIFICATIONS USING BENDS AS SHOWN HEREIN. PIPE DEFLECTION WHEN BENDS ARE NOT SHOWN, AND AS OTHERWISE REQUIRED TO MEET ALL APPLICABLE STANDARDS.
  - THE SANITARY SEWER SYSTEM REQUIRED A PUMP STATION AND FORCE MAIN TO SERVE THE SUBDIVISION. FINAL PUMP STATION AND FORCE MAIN DRAWINGS SHALL BE DEVELOPED AND SUBMITTED TO HARNETT COUNTY PRIOR TO FINAL CONSTRUCTION DRAWING APPROVAL.

### UTILITY LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
SANITARY LABEL	SANITARY LABEL	MH XXX
STORM LABEL	STORM LABEL	STM XXX
	SANITARY SEWER LATERAL	---
	UNDERGROUND WATER LINE	W
	UNDERGROUND ELECTRIC LINE	E
	UNDERGROUND GAS LINE	G
	OVERHEAD WIRE	OH
	UNDERGROUND TELEPHONE LINE	T
	UNDERGROUND CABLE LINE	C
	STORM SEWER	---
SS	SANITARY SEWER MAIN	SS
⊕	HYDRANT	⊕
●	SANITARY MANHOLE	●
●	STORM JUNCTION BOX	●
WM	WATER METER	WM
WV	WATER VALVE	WV
▽	TYPICAL END SECTION	▽
⌋	HEADWALL OR ENDWALL	⌋
■	CATCH BASIN	■
•	SANITARY CLEAN OUT	•
⊙	MONITORING WELL	N/A
N/A	TEST PIT	⊕

### PLAN REVISIONS

#	DATE	REVISION	BY

KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's fast. It's free. It's the law.

PROJECT: **BRYANT ROAD PRELIMINARY PLAT**

504 ST MATTHEWS ROAD  
ERWIN, NC 28339

PROJECT #: C21023  
DRAWN BY: JT  
REVIEWED BY: MAR  
1ST SUBMITTAL: 2022.07.08  
SCALE: 1" = 100'

FOR REVIEW AND APPROVAL

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SEALED:

2022.07.08

SHEET: **PRELIMINARY UTILITY PLAN**

**C-400**

