

**THE ERWIN BOARD OF COMMISSIONERS
JANUARY, 2021 REGULAR MEETING
THURSDAY, JANUARY 7, 2021 @ 7:00 P.M.
ERWIN COMMUNITY BUILDING**

AGENDA

1. **MEETING CALLED TO ORDER**
 - A. INVOCATION
 - B. PLEDGE OF ALLEGIANCE

2. **AGENDA ADJUSTMENTS /APPROVAL OF AGENDA**
3. **CONSENT (Page 2)**

All items on Consent Agendas are considered routine, to be enacted on one motion without discussion. If a Board member or citizen request discussion of an item, the item will be removed from the consent Agenda and considered under New Business.

 - A. Minutes of Regular Meeting on December 3, 2020 (Page 2)
 - B. Financial Report for November 2020 (Page 7)

4. **PUBLIC HEARING**
 - A. CU-2020-002 (Page 9)
 - B. ZT-2020-001 (Page 35)
 - C. ZT-2020-002 (Page 44)
 - D. ZT-2020-003 (Page 53)

5. **NEW BUSINESS**
 - A. Resolution- Adopting Cape Fear Regional Hazard Mitigation Plan (Page 62)
 - B. Budget Amendment Requests (Page 66)

6. **MANAGER'S REPORT**

7. **ATTORNEY'S REPORT**

8. **GOVERNING BODY COMMENTS**

9. **PUBLIC COMMENT**

Each speaker is asked to limit comments to 3 minutes, and the requested total comment period will be 15 minutes or less. Citizens should sign up prior to the start of the meeting. Please provide the clerk with copies of any handouts you have for the Board. Although the Board is interested in hearing your concerns, speakers should not expect Board action or deliberation on subject matter brought up during the Public Comment segment. Thank you for your consideration of the Town Board, staff and other speakers. §160A-81.1

10. **CLOSED SESSION**
 - A. Pursuant to General Statute 143-381.11(a) (5) To establish, or to instruct the public body's staff or negotiating agents concerning the position to be taken by or on behalf of the public body in negotiating (i) the price and other material terms of a contract or proposed contract for the acquisition of real property by purchase, option, exchange, or lease; or (ii) the amount of compensation and other material terms of an employment contract or proposed employment contract.

11. **ADJOURNMENT**

ERWIN BOARD OF COMMISSIONERS**REGULAR MINUTES****JANUARY 7, 2021****ERWIN, NORTH CAROLINA**

The Board of Commissioners for the Town of Erwin with Mayor Patsy Carson presiding, held its Regular Meeting in the Erwin Community Building on Thursday, January 7, 2021 at 7:00 P.M. in Erwin, North Carolina.

Board Members present were: Mayor Patsy Carson and Commissioners William Turnage, Alvester McKoy, Ricky Blackmon, Thurman Whitman and Melinda Alvarado.

Board Member absent was: Commissioner Randy Baker.

Town Manager Snow Bowden and Town Clerk Lauren Evans were present.

Town Attorney Tim Morris was present.

Mayor Patsy Carson called the meeting to order at 7:00 P.M.

Commissioner Alvester McKoy gave the invocation.

Town Clerk Lauren Evans led the Pledge of Allegiance.

APPROVAL OF AGENDA

Commissioner Blackmon made a motion to approve the agenda and was seconded by Commissioner Alvarado. **The Board voted unanimously.**

CONSENT

Commissioner McKoy made a motion to approve **(ITEM A)** Minutes of Regular Meeting on December 3, 2020, **(ITEM B)** Financial Report for November 2020 and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

PUBLIC HEARING

Commissioner Turnage made a motion to go into a Public Hearing at 7:04 P.M. and was seconded by Commissioner Whitman. **The Board voted unanimously.**

TOWN OF ERWIN
FINANCIAL SUMMARY REPORT
FOR MONTH OF November 2020



REPORT FROM: FISCAL YEAR

	ANNUAL BUDGET	November 20 ACTIVITY	ACTUAL TO DATE	Y-T-D % COLLECTED
CURRENT YEAR LEVY OF PROPERTY TAXES	1,091,334.00	79,713.00	208,458.00	19.10%
CURRENT YEAR MOTOR VEHICLE TAXES	174,370.00	15,808.00	76,698.00	43.99%
PRIOR YEAR TAXES / Penalties & Interest	10,000.00	5,192.00	19,668.00	196.89%
UTILITIES FRANCHISE TAXES	198,000.00	841.00	35,738.00	20.07%
ENTRY FEES	18,000.00	0.00	0.00	0.00%
SALES & USE TAX	585,000.00	63,057.00	322,557.00	55.14%
ZONING PERMITS/APPLICATIONS	5,000.00	500.00	4,520.00	90.40%
REFUSE COLLECTIONS FEES	403,688.00	42,350.00	173,954.00	43.09%
STORM WATER COLLECTION	66,930.00	5,465.00	24,835.00	35.51%
ALL OTHER REVENUES	751,383.00	51,487.00	428,536.00	57.17%
	3,306,716.00	254,423.00	1,299,984.00	39.31%

	ANNUAL BUDGET	November ACTIVITY	ACTUAL TO DATE	Y-T-D % SPENT
GOVERNING BODY	42,072.00	1,776.00	9,343.00	22.21%
ADMINISTRATION	305,434.00	20,320.00	104,693.00	34.26%
NON-DEPARTMENTAL	284,249.00	2,211.00	149,437.00	52.57%
PLANNING & INSPECTIONS	105,072.00	149.00	17,790.00	16.31%
POWELL BILL-STREETS	182,000.00	0.00	5,000.00	2.75%
POLICE	820,889.00	71,400.00	328,940.00	40.19%
POLICE-SRD	116,840.00	6,039.00	41,028.00	35.11%
CONTRACT SERVICES-FIRE	235,787.00	0.00	37,282.00	15.80%
PUBLIC WORKS-ADMIN.	102,552.00	9,004.00	43,712.00	42.62%
PUBLIC WORKS-STREETS	375,411.00	18,241.00	99,993.00	26.64%
PUBLIC WORKS-SANITATION	323,790.00	28,931.00	118,954.00	36.74%
PUBLIC WORKS-STORM WATER	15,000.00	0.00	1,769.00	11.79%
RECREATION	320,004.00	20,695.00	102,592.00	32.06%
LIBRARY	67,155.00	4,525.00	23,677.00	35.26%
COMMUNITY CENTER	6,500.00	169.00	1,525.00	23.46%
	3,306,716.00	183,444.00	1,086,655.00	32.86%

POWELL BILL BALANCE
\$390,181.09

BALANCES AS OF Nov - 30 - 2020

CASH MANAGEMENT	1,408,725.19
BB&T CASH IN BANK	352,910.71
FIRST FEDERAL BUSINESS MONEY MARKET	136,301.33
FIRST FEDERAL MONEY MARKET	855,592.18
Y-T-D INVESTMENT BALANCE IN GENERAL FUND ACCOUNTS	2,753,529.41
BB&T STATE FORFEITURE	3,691.32
BB & T CAPITAL RESERVE/COMM ENHANCEMENT	173,908.34
FIRST FEDERAL C.P. RESERVE/GENERAL	2,346,161.33
BB&T HEALTH RESERVE HRA ACCT	11,189.00
PRIERE FIELD ACCT.	8,327.94
AL WOODMALL PARK IMPROVEMENTS	342,681.41
Y-T-D INVESTMENT BALANCE RESTRICTED FUNDS	2,865,865.34
CUMULATIVE BALANCE FOR TOWN OF ERWIN	5,639,398.75

Y-T-D GENERAL FUND BALANCE INCREASE (DECREASE)

MINUTES CONTINUED FROM JANUARY 7, 2021

CU-2020-002

Mayor Patsy Carson asked if anyone present would like to speak in favor of the request.

Applicant, Paul Parker, came forward and was sworn in by the Town Clerk Lauren Evans.

Mr. Parker stated the cell tower would meet an essential need for the Town of Erwin and asked the Board to please consider approving the request.

Commissioner Turnage asked if Mr. Parker had figured out the path to access the property.

Mr. Parker states he did figure it out and had the plans with him if the Board would like to see them.

The Board had no further questions for Mr. Parker.

Mayor Patsy Carson asked if anyone present would like to speak against the request.

No one came forward.

Commissioner Turnage made a motion to close the public hearing at 7:09 PM and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

Commissioner Blackmon made a motion that the use requested is listed among the conditional uses in the district for which application is made and was seconded by Commissioner Alvarado. **The Board voted unanimously.**

Commissioner Alvarado made a motion that the requested use is essential or desirable to the public convenience or welfare and was seconded by Commissioner Whitman. **The Board voted unanimously.**

Commissioner McKoy made a motion that the requested use will not impair the integrity or character of the surrounding or adjoining districts, nor be detrimental to the health, morals, or welfare and was seconded by Commissioner Turnage. **The Board voted unanimously.**

Commissioner Blackmon made a motion that the requested use will in conformity with the Land Development Plan and was seconded by Commissioner Alvarado. **The Board voted unanimously.**

Commissioner Alvarado made a motion that adequate utilities, access roads, drainage, sanitation and/or other necessary facilities have been or are being provided and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

Commissioner Blackmon made a motion that adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets and was seconded by Commissioner McKoy. **The Board voted unanimously.**

MINUTES CONTINUED FROM JANUARY 7, 2021

Commissioner McKoy made a motion that the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Board of Commissioners pursuant to the recommendations of the Planning Board and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

Commissioner Blackmon made a motion to recommend that the proposed conditional use application meets all the Findings of Fact in the Affirmative and was seconded by Commissioner Alvarado. **The Board voted unanimously.**

Commissioner Alvarado made a motion that the proposed amendment is consistent with those documents that constitute the officially adopted land development plan and other applicable plans and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

Commissioner Blackmon made a motion to recommend approval of CU-2020-02 to place a cell tower on a vacant parcel off of Red Hill Church Road with corresponding Harnett County PIN #1507-15-5729.000 and was seconded by Commissioner Alvarado. **The Board voted unanimously.**

Commissioner Alvarado made a motion to go back into Public Hearing at 7:15 PM and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

ZT-2020-01

Mayor Patsy Carson asked if anyone present would like to speak in favor of the request.

Applicant, Carolyn Dorman, came forward and was sworn in by the Town Clerk Lauren Evans.

Ms. Dorman asked the Board to please consider approving the request.

The Board had no questions for Ms. Dorman.

Mayor Patsy Carson asked if anyone present would like to speak against the request.

No one came forward.

Commissioner McKoy made a motion to close the public hearing at 7:17 PM and was seconded by Commissioner Turnage. **The Board voted unanimously.**

Commissioner Blackmon made a motion to recommend approval of the rezoning request ZT-2020-01 to have the parcel rezoned from B-2 to R-6 and was seconded by Commissioner Alvarado. **The Board voted unanimously.**

Commissioner Alvarado made a motion to go back into Public Hearing at 7:18 PM and was seconded by Commissioner McKoy. **The Board voted unanimously.**

Erwin Board of Commissioners

REQUEST FOR CONSIDERATION

To: The Honorable Mayor and Board of Commissioners
From: Snow Bowden, Town Manager
Date: January 7, 2021
Subject: CU-2020-02

The Town of Erwin has received a conditional use application to place a cell tower on a lot that does not have an address. It is located on a parcel that is off of Red Hill Church Road in the ETJ. The property can be identified by its Harnett County PIN #1507-15-5729.000.

Attachments:

- CU-2020-02 Application, CU-2020-02 Staff Report, Site Plan
- Harnett County GIS Image, GIS Image with Zoning

Suggested Motions:

For legal purposes, Staff recommends that 3 separate recommendations be made:

1. I move to recommend that the proposed conditional use application:

- a. Meets all the Findings of Fact in the Affirmative, or
- b. Meets one or more of the Findings of Fact in the negative (If this motions is made, then the application would have to be recommended for denial.)

2. I move that:

- a. The proposed amendment is consistent with those documents that constitute the officially adopted land development plan and other applicable plans; or
- b. The proposed amendment is not consistent with those documents that constitute the officially adopted land development plan and other applicable plans, in that...(state reason(s) for nonconsistency).

3. I move that to recommend

- a. Approval CU-2020-02 to place a cell tower on a vacant parcel off of Red Hill Church Road with corresponding Harnett County Tax PIN #1507-15-5729.000, or
- b. Denial of CU-2020-02 to place a cell tower on a vacant parcel off of Red Hill Church Road with corresponding Harnett County Tax PIN #1507-15-5729.000, or
- c. Approval of CU-2020-02 to place a cell tower on a vacant parcel off of Red Hill Church Road with corresponding Harnett County Tax PIN #1507-15-5729.000 with additional conditions.....



TOWN OF ERWIN
 100 West F St., Post Office Box 459
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CONDITIONAL USE APPLICATION

In the Matter Of the Request to the Erwin Board of Commissioners

Applicant Name	Tillman Infrastructure - Paul Parker	Property Owner Name	Warren Realty, LLC
Mailing Address	2724 Lakeview Drive	Mailing Address	PO Box 1585
City, State, Zip	Raleigh, NC 27609	City, State, Zip	Dunn, NC 28334
Telephone	919-422-9560	Telephone	910-891-4464
Email	ptparkerrs@outlook.com	Email	mcarter@warrencompany.com
Address of Subject Property	No Addresses on this Parcel Off Red Hill Church Road		
Parcel Identification Number(s) (PIN) of Subject Property	1 5 0 7 - 1 5 - 5 7 2 9 .000		
Legal Relationship of Applicant to Owner	Lease Agreement	Floodplain SFHA	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Legal Description:	Lot 6	Block	Subdivision 00601
Zoning District	Industrial	Wetlands Y Yes	<input checked="" type="checkbox"/> No Watershed Area <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Public Water Available:	Y or <input checked="" type="checkbox"/> N	Public Sewer Available:	Y or <input checked="" type="checkbox"/> N Existing Septic Tank: <input checked="" type="checkbox"/> Y or <input type="checkbox"/> N
Number of Buildings to Remain	0	Gross Floor Area to Remain	0
Describe Proposed Project or Request with Conditions proposed by applicant: Construct a Telecommunications Tower within a fenced compound with base station equipment. PAID			
Total Acreage or Square Footage to be Disturbed	10,000	AUG 11 2020	
Estimated Cost of Project \$	150,000.00		

Attach a scaled illustrative plot or site plan showing all lot dimensions, buildings, structures, driveways, parking spaces, and distances between structures and property lines.

Provide complete mailing addresses for each adjacent property owners (also property within 100 feet) and/or property owners directly across a street, if any. Names and addresses must be from current Harnett County tax listings.

TOWN OF ERWIN
 pdc ktf
 3411

Office Use Only	
Date Application Submitted	8/11/2020 Application Fee \$ 300.00 Received By SBL
Case #	CU-2020-02

Septense Planning Board 9/21/2020
 Old Town Bow 1st



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Conditional Use Signature Page

It is understood by the undersigned that the development and execution of the Conditional Use Ordinance is based upon the division of the Town into districts within which districts the use of land and buildings, and the bulk and location of buildings and structures in relation to the land, is substantially uniform. It is recognized, however, that there are certain uses which, because of their characteristics, cannot be properly classified in any particular district or districts, without consideration, in each case, of the impact of those uses upon neighboring land and of the public need for the particular location. Such conditional uses fall into two categories.

1. Uses publicly operated or traditionally affected with a public interest
2. Uses entirely private in character, but of such unusual nature that their operation may give rise to unique problems with respect to their impact upon neighboring property or public facilities.

The Zoning Ordinance as originally adopted and as subsequently amended is presumed by the Town to be appropriate to the property involved and that the burden of proof for a Conditional Use approval rests with the applicant. Applicant is encouraged to discuss the proposed use with affected property owners.

It is further understood that prior to the granting of any conditional use, the Planning Board may recommend, and the Board of Commissioners may stipulate, such conditions and restrictions upon the establishment, location, reconstruction, maintenance, and operation of the conditional use as it is deemed necessary for the protection of the public interest and to secure compliance with the standards and requirements specified in 9-411.5 of the Town Code. In all cases in which conditional uses are granted, the Board of Commissioners shall require such evidence and guarantees as it may deem necessary as proof that the conditions stipulated in connection therewith are being and will be complied with.

- Such conditions may include a time limitation;
- Conditions may be imposed which require that one or more things be done before the use requested can be initiated. (For example, "that a solid board fence be erected around the site to a height of 6 feet before the use requested is initiated");
- Conditions of a continuing nature may be imposed. (For example, "exterior loud speakers shall not be used between hours of 10:00 p.m. and 9:00 a.m.")

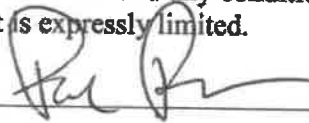
Compliance with Other Codes: Granting of a Conditional Use Permit does not exempt applicant from complying with all of the requirements of building codes and other ordinances.

Revocation: In any case where the conditions of the Conditional Use Permit have not been or are not being complied with, the Building Inspector shall give the permitted notice of intention to revoke such permit at least ten (10) days prior to a Board of Commissioners review thereof. After conclusion of the review, the Board of Commissioners may revoke such permit.

Expiration: In any case where a Conditional Use Permit has not been exercised within the time limit set by the Board of Commissioners, or within one year if no specific time limit has been set, then without further action, the permit shall be null and void. "Exercised" as set forth in this section shall mean that binding contracts for the construction of the main building have been let; or in the absence of contracts that the main building is under construction to a substantial degree; or that pre-requisite conditions involving substantial investment are contracted for, in substantial development, or completion (sewer, drainage, etc.). When construction is not part of the use, "exercised" shall mean that the use is in operation in compliance with the conditions set for in the permit.

Duration: Duration of a conditional use and any conditions attached shall be perpetually binding to the property unless it is expressly limited.

Applicant Signature and Date:



08-09-2020



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CONDITIONAL USE APPLICATION Record of Adjacent Property Owners With Mailing Addresses Per Harnett County Land Records

Property Owner (1) Stephen Nelson Owens & Kelly McLeod Nelson
Mailing Address 588 Mabry Road City Anger ST NC Zip 27501

Property Owner (2) Arvaleed McLamb
Mailing Address 71 Wise Rd City Dunn ST NC Zip 28334

Property Owner (3) Mary Alice Penny & Hal D. Penny
Mailing Address 183 Red Hill Church Road City Dunn ST NC Zip 28334

Property Owner (4) Warren Realty, LLC
Mailing Address PO Box 1585 City Dunn ST NC Zip 28334

Property Owner (5) Raeford Nelson Jackson
Mailing Address 15 Red Hill Church Road City Dunn ST NC Zip 28334

Property Owner (6) Harnett County
Mailing Address PO Box 759 City Lillington ST NC Zip 27546

Property Owner (7) BoatHouse Solar
Mailing Address 600 Lakeshore Lane City Chapel Hill ST NC Zip 27514

Property Owner (8) _____
Mailing Address _____ City _____ ST _____ Zip _____

Property Owner (9) _____
Mailing Address _____ City _____ ST _____ Zip _____

Property Owner (10) _____
Mailing Address _____ City _____ ST _____ Zip _____

Property Owner (11) _____
Mailing Address _____ City _____ ST _____ Zip _____

Property Owner (12) _____
Mailing Address _____ City _____ ST _____ Zip _____

Property Owner (13) _____
Mailing Address _____ City _____ ST _____ Zip _____

**Town of Erwin Planning Board
Conditional Use Guidelines for Findings of Fact**

1. The use requested is listed among the conditional uses in the district for which application is made:

Y Yes ~~NO~~ This request is listed among the conditional uses in the district for which the application is made.

2. The requested use is essential or desirable to the public convenience or welfare

Y Yes ~~NO~~ This facility will provide enhanced wireless telecommunication service in the area.

3. The requested use will not impair the integrity or character of the surrounding or adjoining districts, nor be detrimental to the health, morals, or welfare

Y Yes ~~NO~~ This request will not impair the integrity or character of the surrounding or adjoining district, nor be detrimental to the health, morals, or welfare.

4. The requested use will be in conformity with the Land Development Plan

Y Yes ~~NO~~ This request is in conformity with the Land Development Plan.

5. Adequate utilities, access roads, drainage, sanitation and/or other necessary facilities have been or are being provided

Y Yes ~~NO~~ Adequate utilities, access roads, drainage, sanitation and/or other necessary facilities will be improved as a required for this application.

6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets

Y Yes ~~NO~~ Adequate measures will be taken to provide ingress and egress as to minimize traffic congestion in public streets.

7. That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Board of Commissioners pursuant to the recommendations of the Planning Board

Y Yes ~~NO~~ This conditional use will conform to applicable regulations of the district which it is located and modified by the Board of Commissioners pursuant to the recommendations of the Planning Board.



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CONDITIONAL USE APPLICATION PROCEDURES

1. Completed application for the Conditional Use Permit, signed by the applicant, shall be addressed to the Board of Commissioners and presented to the Administrative Official. Applications must be submitted by the third Friday of the month prior to the following Planning Board meeting to ensure the application will be heard at the following Planning Board meeting. Planning Board meets on the third Monday of each month.
2. Each application shall contain or be accompanied by such legal descriptions, maps, plans and other information so as to completely describe the proposed use and existing conditions.
3. Pay the Conditional Use Permit Fee as established by the Board of Commissioners and found in the Schedule of Fees in the Office of the Town Clerk. Current fee is \$250.
4. Planning Board reviews the application prior to the public hearing and makes recommendation to the Board of Commissioners.

Conditions and Guarantees

Prior to the granting of any conditional use, the Planning Board may recommend, and the Board of Commissioners may stipulate, such conditions and restrictions upon the establishment, location, reconstruction, maintenance, and operation of the conditional use as is deemed necessary for the protection of the public interest and to secure compliance with the standards and requirements specified by ordinance. In all cases in which conditional uses are granted, the Board of Commissioners shall require such evidence and guarantees as it may deem necessary as proof that the conditions stipulated in connection therewith are being and will be complied with.

- Such conditions may include a time limitation;
 - Conditions may be imposed which require that one or more things be done before the use requested can be initiated. (For example, "that a solid board fence be erected around the site to a height of 6 feet before the use requested is initiated");
 - Conditions of a continuing nature may be imposed. (For example, "exterior loud speakers shall not be used between hours of 10:00 p.m. and 9:00 a.m.")
1. Administrative official posts property at least one (1) week prior to public hearing
 2. Newspaper advertisement once (1) each week for two (2) successive weeks prior to the public hearing
 3. The Board of Commissioners shall approve, modify or deny the application for Conditional Use Permit following the public hearing.

Action by the Board of Commissioners

In granting a Conditional Use Permit the Board of Commissioners shall make written findings that the applicable regulations of the district in which it is located are fulfilled. With due regard to the nature and state of all adjacent structures and uses, the district within which same is located, and official plans for future development, the Board of Commissioners shall also make written findings that the following provisions are fulfilled:

1. The use requested is listed among the conditional uses in the district for which application is made
2. The requested use is essential or desirable to the public convenience or welfare
3. The requested use will not impair the integrity or character of the surrounding or adjoining districts, nor be detrimental to the health, morals, or welfare
4. The requested use will be in conformity with the Land Development Plan
5. Adequate utilities, access roads, drainage, sanitation and/or other necessary facilities have been or are being provided
6. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets
7. That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Board of Commissioners pursuant to the recommendations of the Planning Board



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IMPORTANT

This is a complete Conditional Use Application package consisting of 11 pages. For this application to be accepted, it must be completed and returned with all required documents and entries.

Do be aware that under certain conditions the applicant may be required to obtain a Driveway Permit from the NC Department of Transportation prior to Conditional Use Permit approval.

Using the Zoning Ordinance

- Go to the applicable zoning district in Article 3. That section will serve as a guide to begin the development of your site plan. This section will also direct you to pertinent requirements such as: parking, sign, lighting, and other general provisions such as streetscape requirements and other general development regulations that may apply to the proposed development.
- Be sure to read Article 11 – Conditional Uses.
- Complete the Conditional Use Permit Application, the Conditional Use Signature page, and the Record of Adjacent Property Owners sheet; and include other required information with the application. Use additional pages if necessary. Adjacent property owners' names must be from current Harnett County tax listing; so this requires that the applicant contact Harnett County. Addresses of the adjacent property owners must be complete which includes name, mailing address, and zip code.
- The submitted site plan must be drawn to scale and include all dimensions and required provision. Of these dimensions and other requirements, be sure to include the following:
 - Existing structures on the proposed lot, their dimensions and distances between one another and the lot's property lines
 - Proposed structures including their dimensions and distances from other structures on the lot and proposed distances from property lines (i.e. setbacks)
 - All easements and rights-of-way located on the proposed lot
 - All natural features including tree lines, drainage ways, etc.
 - The location and dimensions of required parking area(s) as may be required by Ordinance
 - Proposed lighting plans as may be required by Ordinance
 - Demonstration of the placement of buffers and streetscape as may be required by ordinance



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Processing Requirements

Conditional Uses are not Uses by Right. It is the responsibility of the applicant to demonstrate that the requested use will meet the minimum requirements set forth in the Erwin Zoning Ordinance. The Board's decision will be greatly influenced by the completeness and neatness of the submitted application.

A requested and very necessary tool is the sit plan. Its importance cannot be overstated. Applicant is encouraged to portray in detail and to accurately scale the property boundaries, improvements, and any natural features. In some cases, approval or denial may depend on the quality of the Site Plan.

If the proposed use involves business operations, description of the anticipated activity needs to be sufficiently disclosed. This will assist the Board in determining the Town's infrastructure capability, the public health and safety considerations such as traffic and noise, and how neighboring property may be affected.

All uses require dedicated parking spaces and some may require lighting, buffering, fences, landscaping, and other elements. It is suggested that the applicant spend some time reading the Town's Zoning Ordinance prior to application. Copies of the Zoning Ordinance may be purchased at Town Hall. Copies are available in the Erwin Library and Town Hall for review. An electronic copy of the Ordinance can be found on the Town website as well at www.erwin-nc.org.

A complete application consists of all documents included in the application package and any required maps, site plan, and/or related documents. These documents become the property of the Town. It is the applicant's responsibility to submit 20 copies of this completed application. Each member of the Governing Board and Planning Board receives a copy including the Town Manager, Town Clerk, Town Attorney, and Code Enforcement Officer.

The completed application and fees must be submitted no later than the third Friday of the month to be placed on following month's Planning Board Agenda. The Planning Board's recommendation will be presented during a Public Hearing for the Conditional Use Request. The Planning Board may revise its recommendation following the Public Hearing and present such recommendation to the Governing Board before the Governing Board takes action.

Town of Erwin Record and Decisions

Office Use Only

Notice Mailed _____ Property Posted _____ Newspaper Advertised Date _____

Planning Board Motion

Record of Decision:

Yea	Nay
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

Certified By: _____

Public Hearing Date and Comments:

Governing Body Motion

Record of Decision:

Yea	Nay
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
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<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

Certified By: _____

Town Board Decision and Date

Certified By: _____



CONDITIONAL USE REQUEST STAFF REPORT

Case: CU-2020-02

Snow Bowden, Town Manager
townmanager@erwin-nc.org

Phone: (910) 591-4200 Fax: (910) 897-5543

Planning Board: 09/21/2020

Town Commissioners: 10/01/2020

Requested conditional use to place a cell tower on a parcel off of Red Hill Church Road with no address. The property has the following Harnett County Tax PIN# 1507-15-5729.000

Applicant Information

Owner of Record:

Name: Warren Realty, LLC

Address: PO Box 1585

City/State/Zip: Dunn, NC 28334

Applicant:

Name: Paul Parker

Address: 2724 Lakeview Drive

City/State/Zip: Raleigh, NC 27609

Property Description

Harnett County Tax PIN 1507-15-5729.000

Acres 2.27

Zoning District- M-1

Vicinity Map

- See Attached Document

Physical Characteristics

Site Description: Based on data from Harnett County GIS this is a vacant parcel that is 2.27 acres. It is located off of Red Hill Church Road and it is in our ETJ.

Surrounding Land Uses: This parcel is located off of a NCDOT road. There are some vacant parcels next to it. The property is adjacent to the Dunn-Erwin Rail Trail. On the other side of the trail is two large parcels with solar farms on them. There is another tower in the area on property owned by Carolina Power and Light. In this area there is an existing commercial building.

Services Available

- This is a vacant parcel
-
-

Zoning District Compatibility

Conditional Use	M-1
Customary Home Occupation	X

Staff Evaluation

Staff Evaluation

Yes No The use requested is listed among the conditional uses in the district for which the application is made.

- **Reasoning:** Towers are permitted as a conditional use in M-1 zoning.

Yes No The requested use is essential or desirable to the public convenience or welfare.

- **Reasoning:** This proposed use would increase cell coverage for the residents of the area.

Yes No The requested use will not impair the integrity or character of the surrounding or adjoining districts, nor be detrimental to the health, morals, or welfare. .

- **Reasoning:** The requested use for a tower is located off of the road on a vacant parcel. Most of the land next to the location is undeveloped. There are similar uses in the area such as the solar farm.

Yes No The requested use will be in conformity with the Land Development Plan.

- **Reasoning:** This proposed use is in the ETJ. It appears to be in between the area identified for high or medium intensity growth. This proposed tower would benefit the residents of Erwin and would be in conformity with the 2014 Land Use Plan.

Yes No Adequate utilities, access roads, drainage, sanitation and/or other necessary facilities have been or are being provided.

- **Reasoning:** Yes, there would be a private access point installed.

Yes No That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

- **Reasoning:** There would be little to no impact on traffic with this proposed used. The tower would be served by a private access point that would only be used by employees when necessary.

Yes No That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the Board of Commissioners pursuant to the recommendations of the Planning Board.

- **Reasoning:** Town Staff would recommend that one of the conditions for this permit if it is approved would be to obtain an NCDOT drive way permit for the proposed private drive that would connect the site to Red Hill Church Road.

Attachments:

- GIS zoning district image
- GIS image
- CU-2020-02 application
- CU-2020-02 Staff Report

BUILDING CODES

- INTERNATIONAL BUILDING CODE - 2012 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE - 2012 EDITION
- INTERNATIONAL FIRE PREVENTION - 2012 EDITION
- INTERNATIONAL FUEL GAS CODE - 2012 EDITION
- INTERNATIONAL MECHANICAL CODE - 2012 EDITION
- INTERNATIONAL PLUMBING CODE - 2012 EDITION
- INTERNATIONAL ELECTRICAL CODE - 2014 EDITION

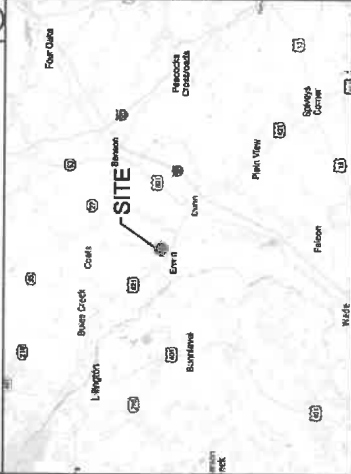
HANDICAP REQUIREMENTS

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
HANDICAP ACCESS IS NOT REQUIRED

PLUMBING REQUIREMENTS

FACILITY HAS NO SANITARY OR POTABLE WATER.

VICINITY MAP



LOCATION MAP



TILLMAN INFRASTRUCTURE

RAWLAND CONSTRUCTION DRAWINGS

191'-0" MONOPOLE

SITE NAME

RED HILL CHURCH (14637878)

SITE ID

TI-OPP-16496

SITE COORDINATES

(35.331553, -78.659606)

SITE ADDRESS

201 RED HILL CHURCH ROAD
ERWIN, NC 28339

FLOOD PLAIN NOTE

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN UNDESIGNATED AREA OF MINIMAL FLOOD HAZARD.
DATED: 10/25/2009

PROJECT SUMMARY

TYPE OF OCCUPANCY: TELECOMMUNICATIONS
SITE TYPE: RAWLAND
TOWER TYPE: MONOPOLE
LATITUDE: N
LONGITUDE: W
JURISDICTION: TOWN OF ERWIN
COUNTY: HARNETT COUNTY
DEED BOOK & PAGE: 2102, PAGE 728
PARCEL ID: 1607-15-5729-000
1607-15-5730-000
1607-15-6218-000
ZONED: M1

CONTACTS

LAND OWNER: WARREN REALTY LLC
201 RED HILL CHURCH ROAD
DUINN, NC 28334
TOWER OWNER: TILLMAN INFRASTRUCTURE, LLC
20 MANSELL COURT, SUITE 375
ROSWELL, GA 30076
ENGINEER: TOWERSOURCE
1675 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
(770) 986-2538
MUNICIPALITY: TOWN OF ERWIN
100 WEST F STREET
PO BOX 459
ERWIN, NC 28339
POWER COMPANY: DUKE ENERGY PROCESS
TELCO COMPANY: AT&T

SITE DIRECTIONS

FROM:
20 MANSELL COURT, SUITE 375
ROSWELL, GA 30076
2.0 MI.
TAKE GA-409 SOUTH-18 S IN ROSWELL FROM
WARSAW ROAD AND HOLCOMB BRIDGE ROAD
FOLLOW I-95 EAST AND I-85 N TO NC-55 WY-421 IN
E CUMBERLAND STREET IN DUINN, TAKE EXIT 73
FROM I-85 N
4.14 MI.
FOLLOW NC-55 WY-421 N TO
ERWIN ACCESS ROAD IN DUKE
4.8 MI.
THE SITE IS ON THE LEFT.

DRAWING INDEX

SHEET	DESCRIPTION	REV
T1	COVER SHEET	A
-	SURVEY (BY OTHERS)	-
GN1	GENERAL NOTES	A
GN2	GENERAL SITE PLAN	A
C1	OVERALL SITE PLAN	A
C2	SITE PLAN	A
C3	CONSTRUCTION DETAILS	A
C4	TOWER ELEVATION	A

PREPARED FOR:



A&E FIRM:



1675 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
TEL: 678-986-2538 FAX: 678-986-2542

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS THE PROPERTY OF TOWERSOURCE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

PROJECT INFORMATION

RED HILL CHURCH
14637878
TI-OPP-16496
201 RED HILL CHURCH ROAD
ERWIN, NC 28339

DRAWN BY: S.J.H.
CHECKED BY: KIA
APPROVED BY: J.K.P.

REVISIONS

REV.	DATE	DESCRIPTION
A	07/20/09	ISSUED FOR ZONING

ISSUED FOR ZONING



Know what's below.
Call before you dig.

NOT FOR CONSTRUCTION

COVER SHEET

SHEET #
T1
REVISION:
A

PREPARED FOR:



TILLMAN
INFRASTRUCTURE

A/E FIRM:



towersource

1676 OLD ALABAMA ROAD, SUITE 1009
ROSWELL, GA 30076
TEL: 678-986-2268 FAX: 678-980-2342

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO TOWERSOURCE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

PROJECT INFORMATION:

RED HILL CHURCH
14637878
TI-OPP-16496
201 RED HILL CHURCH ROAD
ERWIN, NC 28339

DRAWN BY:	SJH
CHECKED BY:	KJA
APPROVED BY:	JMP

REVISIONS		
NO.	DATE	DESCRIPTION
A	07/20/20	ISSUED FOR CONING

ISSUED FOR ZONING

NOT FOR CONSTRUCTION

SHEET # 6711 / 5433

GENERAL NOTES

5 4 / 3 1 6 7 1 1 /

SHEET # **GN1** REVISION: **A**

MASONRY NOTES:

1. HOLLOW CONCRETE MASONRY UNITS SHALL MEET A.S.T.M. SPECIFICATION C90, GRADE N, TYPE 1. THE SPECIFIED DESIGN COMPRESSIVE STRENGTH OF CONCRETE MASONRY (F_m) SHALL BE 1600 PSI.
2. MORTAR SHALL MEET THE PROPERTY SPECIFICATION OF A.S.T.M. C270 TYPE "S" MORTAR AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI.
3. GROUT SHALL MEET A.S.T.M. SPECIFICATION C117 AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI.
4. CONCRETE MASONRY SHALL BE LAID IN RUNNING (COMMON) BOND.
5. WALL SHALL RECEIVE TEMPORARY BRACING. TEMPORARY BRACING SHALL NOT BE REMOVED UNTIL GROUT IS FULL CURBED.

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR - GENERAL CONTRACTOR
SUBCONTRACTOR - SUBCONTRACTOR HIRED BY GENERAL CONTRACTOR.
OWNER - ORIGINAL EQUIPMENT MANUFACTURER.
2. PRIOR TO THE SUBMISSION OF BID, THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED WITHIN THE SPECIFIED CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL NECESSARY PERMITS AND OBTAIN ALL NECESSARY APPROVALS FROM ALL LOCAL, STATE AND FEDERAL AGENCIES AND OBTAIN ALL NECESSARY APPROVALS FROM ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
4. DRAWINGS PROVIDED WERE DESIGNED AND SCALED TO 1/4"=1'-0" FORMAT.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
6. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
7. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE OWNER.
8. CONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND TELCO CABLES. GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWINGS.
9. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGE TO EXISTING STRUCTURES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
10. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIAL & SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE FACILITY.
11. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
12. CONSTRUCTION SHALL COMPLY WITH TILLMAN INFRASTRUCTURE MASTER SPECIFICATIONS, AND THESE DRAWINGS, WHERE A CONFLICT EXISTS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER.
13. NOTHING CONTAINED IN THESE DRAWINGS SHALL CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN ANY (SUB)CONTRACTOR(S) AND TILLMAN INFRASTRUCTURE.
14. CONTRACTOR SHALL HOLD HARMLESS TILLMAN INFRASTRUCTURE AND ITS REPRESENTATIVES FROM ALL SUITS, ACTIONS, OR CLAIMS OF ANY KIND BROUGHT ABOUT AS A RESULT OF ANY INJURIES OR DAMAGES SUSTAINED BY PERSONS OR PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT.
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C. ELECTRICAL
D. FALL PROTECTION
E. EXCAVATIONS
F. POWER TRANSMISSION AND DISTRIBUTION
G. STEEL ERECTION
H. CRANES AND DERRICKS IN CONSTRUCTION.
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ABBREVIATIONS

ASL ASPECT GRADE LEVEL
BTS BURIED TRANSFORMER STATION
(E) EXISTING
MIN MINIMUM
NTS NOT TO SCALE
RF RADIO FREQUENCY
TBD TO BE DETERMINED
TBR TYPICAL
TYP TYPICAL
ESL EQUIPMENT GROUNDING
ESR EQUIPMENT GROUND ROD
AWG AMERICAN WIRE GAUGE
MGB MASTER GROUND BUSS
EGG EQUIPMENT GROUNDING
SMD SMART INTEGRATED ACCESS DEVICE
GEN GENERATOR
AGR INTERIOR GROUND RING (HALO)
UNL UNLESS NOTED OTHERWISE

SYMBOLS

1/2" SOLID GROUND BUSS BAR
3/4" SOLID NEUTRAL BUSS BAR
SUPPLEMENTAL GROUND CONDUCTOR
2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
CHEMICAL GROUND ROD
DISCONNECT SWITCH
METER
EXOTHERMIC WELD (CAUWELD) (UNLESS NOTED OTHERWISE)
MECHANICAL WELD

CONCRETE AND REINFORCING STEEL NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 330, ASTM A118, ASTM A119 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. SLAB FOUNDATION DESIGN ASSUMING ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A618, GRADE 60, RECORDED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNL.
4. UNLESS SHOWN OTHERWISE ON DRAWINGS:
4.1. CONCRETE CAST AGAINST EARTH 3 IN.
4.2. CONCRETE EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
4.2.1. #6 AND LARGER 2 IN.
4.2.2. #6 AND SMALLER & WWF 1 1/2 IN.
4.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
4.3.1. SLAB AND WALLS 3/4 IN.
4.3.2. BEAMS AND COLUMNS 1 1/2 IN.
5. A QUARTER SHEET SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNL, IN ACCORDANCE WITH ACI 301, SECTION 4.1.

STRUCTURAL STEEL NOTES:

1. ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS NOTED OTHERWISE.
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO THE AWS D1.1 WELDING CODE AND THE AWS D1.5 WELDING CODE PER TABLE 2.4 IN THE AWS "MANUAL OF STEEL CONSTRUCTION" UNLESS NOTED OTHERWISE.
3. MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. NOTED OTHERWISE. 2 1/2 (4 7, 2 1/2 1 2 5 6 7 ((/ / 5 5 7, 2
5. INSTALLATION OF CONCRETE EXPANSION/SHRINK JOINTS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.

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SITE WORK GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTIFY UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR IS TO PUT HOLE UTILITY LOCATES POST MARKING TO TERRY UTILITY LOCATES ARE CORRECT.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED SHALL BE PROTECTED AND MARKED PRIOR TO THE START OF CONSTRUCTION. THE PROTECTION OF THE WORK SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR/SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES.
3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. ALL EXISTING INACTIVE WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
6. THE OWNER SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE (TO BE INSTALLED BY CONTRACTOR).
7. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
8. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND, FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
9. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
10. THE AREAS OF THE OWNER'S PROPERTY OBTAINED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY SHALL BE GRADDED TO SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE PROJECT SPECIFICATIONS.
11. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
12. CONTRACTOR SHALL NOT INSTALL EQUIPMENT THAT WILL IMPERE DOOR OR ACCESS PANELS.

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4. UNLESS SHOWN OTHERWISE ON DRAWINGS:
4.1. CONCRETE CAST AGAINST EARTH 3 IN.
4.2. CONCRETE EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
4.2.1. #6 AND LARGER 2 IN.
4.2.2. #6 AND SMALLER & WWF 1 1/2 IN.
4.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
4.3.1. SLAB AND WALLS 3/4 IN.
4.3.2. BEAMS AND COLUMNS 1 1/2 IN.
5. A QUARTER SHEET SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNL, IN ACCORDANCE WITH ACI 301, SECTION 4.1.

STRUCTURAL STEEL NOTES:

1. ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS NOTED OTHERWISE.
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO THE AWS D1.1 WELDING CODE AND THE AWS D1.5 WELDING CODE PER TABLE 2.4 IN THE AWS "MANUAL OF STEEL CONSTRUCTION" UNLESS NOTED OTHERWISE.
3. MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. NOTED OTHERWISE. 2 1/2 (4 7, 2 1/2 1 2 5 6 7 ((/ / 5 5 7, 2
5. INSTALLATION OF CONCRETE EXPANSION/SHRINK JOINTS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.

CONCRETE AND REINFORCING STEEL NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 330, ASTM A118, ASTM A119 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. SLAB FOUNDATION DESIGN ASSUMING ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A618, GRADE 60, RECORDED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNL.
4. UNLESS SHOWN OTHERWISE ON DRAWINGS:
4.1. CONCRETE CAST AGAINST EARTH 3 IN.
4.2. CONCRETE EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
4.2.1. #6 AND LARGER 2 IN.
4.2.2. #6 AND SMALLER & WWF 1 1/2 IN.
4.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
4.3.1. SLAB AND WALLS 3/4 IN.
4.3.2. BEAMS AND COLUMNS 1 1/2 IN.
5. A QUARTER SHEET SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNL, IN ACCORDANCE WITH ACI 301, SECTION 4.1.

PREPARED FOR



towersource
1875 OLD ALABAMA ROAD, SUITE 1000
ROSWELL, GA 30075
TEL: 878-860-2538 FAX: 878-869-2942

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

PROJECT INFORMATION:

RED HILL CHURCH
14637878
TI-OPP-16496
201 RED HILL CHURCH ROAD
ERWIN, NC 28339

DRAWN BY: SJH
CHECKED BY: KIA
APPROVED BY: JCP

REVISIONS	
REV#	DATE
A	07/29/20
	ISSUED FOR ZONING

ISSUED FOR ZONING

NOT FOR CONSTRUCTION

SHEET TITLE

OVERALL SITE PLAN

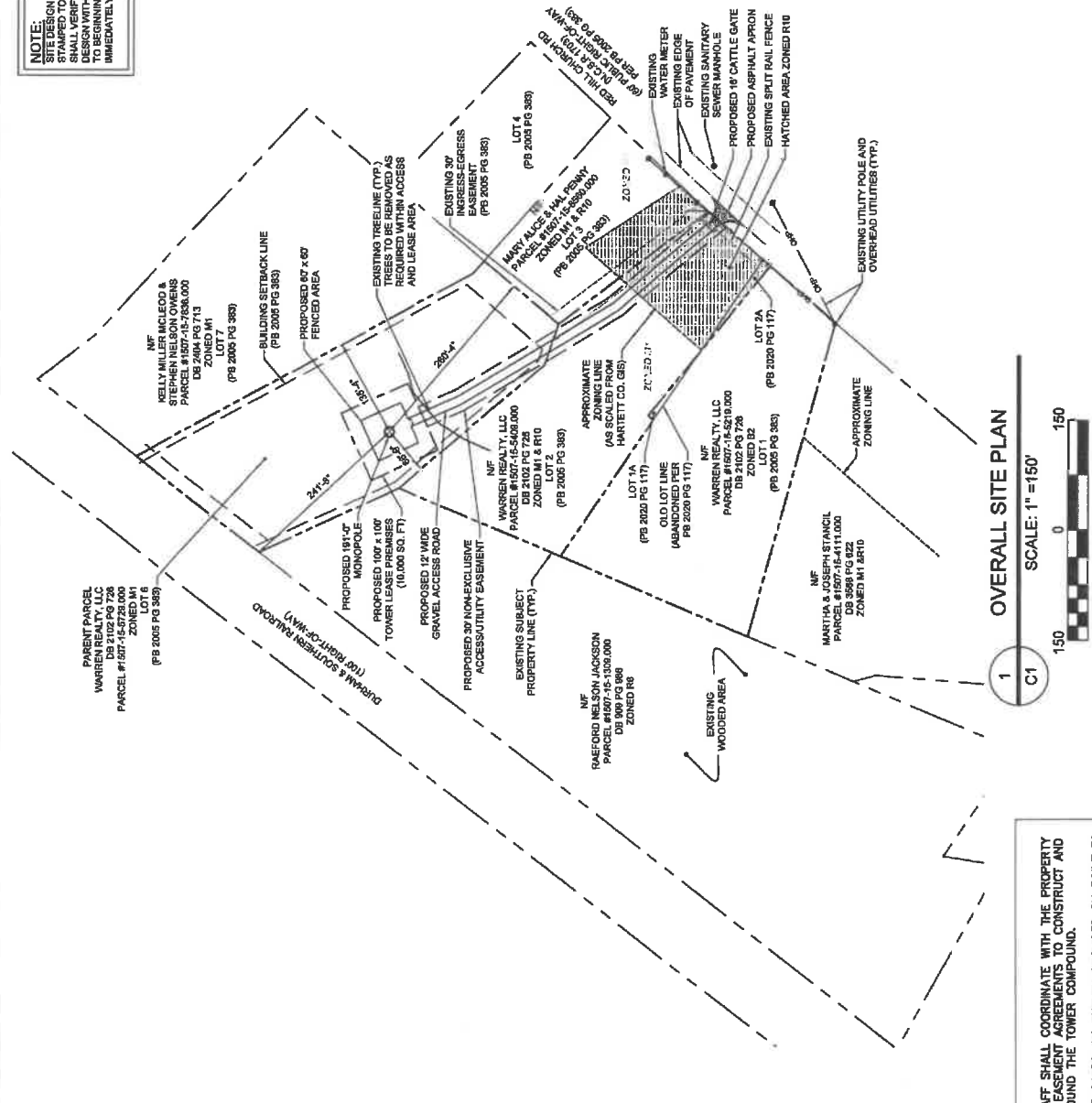
SHEET #

C1

REVISION:

A

NOTE:
THIS DESIGN HAS NOT BEEN COORDINATED WITH FINAL CONSTRUCTION PERMITS. THE CLIENT SHALL VERIFY ALL DIMENSIONS AND ANGLES ON THIS SITE DESIGN WITH FINAL STAMPED TOWER DRAWINGS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.



OVERALL SITE PLAN
SCALE: 1" = 150'



TOWER SETBACKS TO PROXIMATE CORNERS FROM TOWER CENTER

NORTH	241'-6"
SOUTH	200'-4"
EAST	135'-4"
WEST	81'-5"

SURVEY NOTE:
1. TILLMAN INFRASTRUCTURE STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO VERIFY THE PROPOSED TOWER LOCATION AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY POINT TO POINT LAND SURVEYORS DATED 06/30/2020 AND SITE VISIT ON 05/05/2020.

PREPARED FOR



A&E FIRM: towersource
1876 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
TEL: 878-960-2338 FAX: 878-960-2842

THE INFORMATION CONTAINED IN THE SET OF DRAWINGS IS THE PROPERTY OF TOWERSOURCE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

PROJECT INFORMATION
RED HILL CHURCH
14637878
TI-OPP-16496
201 RED HILL CHURCH ROAD
ERWIN, NC 28339

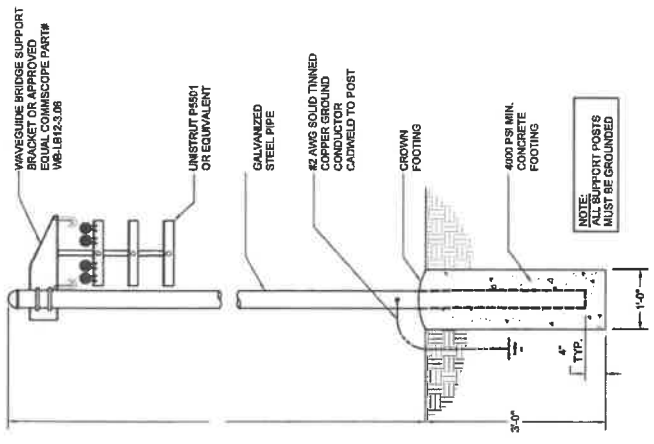
DRAWN BY: SJH
CHECKED BY: KIA
APPROVED BY: JKP

REVISIONS table with columns: REV#, DATE, DESCRIPTION, DRAWN FOR ZONING

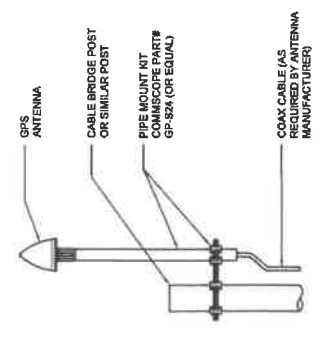
ISSUED FOR ZONING
NOT FOR CONSTRUCTION

SHEET TITLE: CONSTRUCTION DETAILS

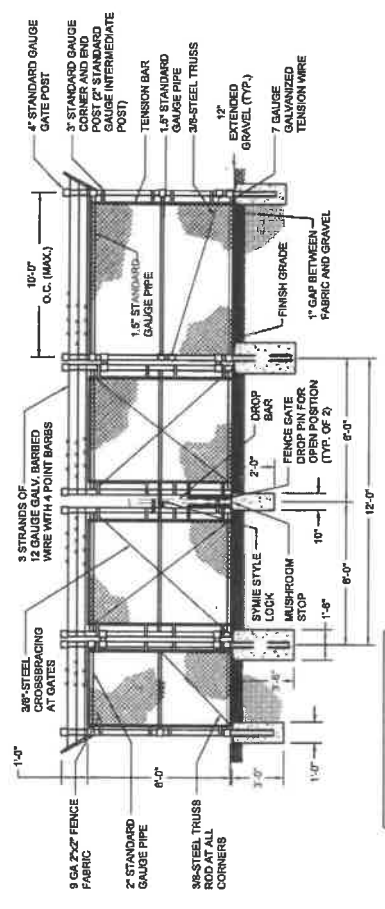
SHEET # C3 REVISION A



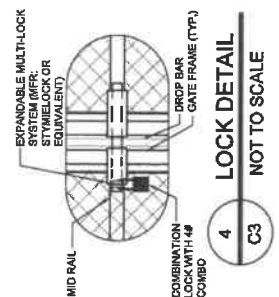
1 CABLE BRIDGE DETAIL NOT TO SCALE



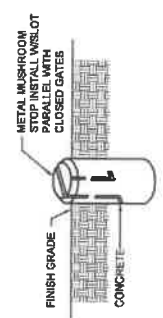
2 GPS ANTENNA MOUNTING DETAIL NOT TO SCALE



3 TYPICAL FENCE AND GATE DETAIL NOT TO SCALE



4 LOCK DETAIL NOT TO SCALE

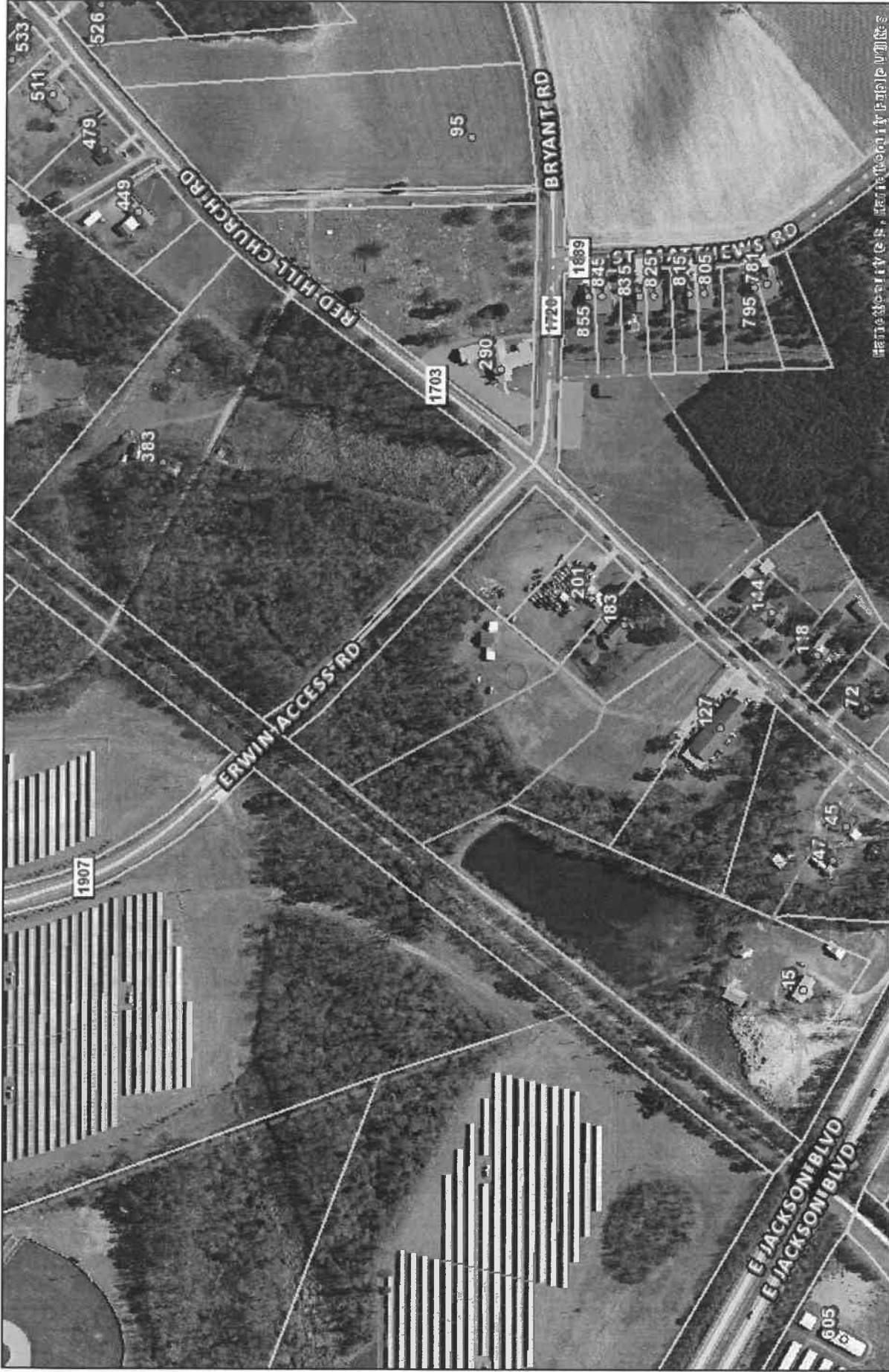


5 MUSHROOM STOP DETAIL NOT TO SCALE

NOTE: IF APPLICABLE, MATCH EXISTING CONDITIONS AS PRACTICAL

NOTE: ALL SUPPORT POSTS MUST BE GROUNDING

Harnett GIS



HARNETT COUNTY, NORTH CAROLINA

Recycle Center

Landfills

Surrounding County Boundaries

Federal Property

City Limits

Harnett County Boundary

Address Numbers

Major Roads

Airport

Interstate

NC

US

Roads

Mile_Markers

Railroad

Parcels

1 inch = 376 feet

Harnett COUNTY
NORTH CAROLINA

GIS/E-911 Addressing
September 11, 2020

Erwin Board of Commissioners

REQUEST FOR CONSIDERATION

To: The Honorable Mayor and Board of Commissioners
From: Snow Bowden, Town Manager
Date: January 7, 2021
Subject: ZT-2020-01

The Town has received a request to have a parcel rezoned from B-2 to R-6. The parcel does not have an address but it is a vacant parcel off of Denim Drive. This parcel has an R-6 District directly behind it and across the street. There are existing grandfathered residential land uses in the area as well. If you want to recommend this property be rezoned you will need to adopt a statement-of-consistency. If you want to recommend against this rezoning request you will need to adopt a statement-of-inconsistency.

The Erwin Planning Board recommended this rezoning request be approved.

Attachments:

- Application to request an amendment to the zoning map
- Staff report
- Harnett County GIS Image with no zoning overlay
- Harnett County GIS Image with a zoning overlay
- Statement-of-Consistency from the Erwin Planning Board
- Statement-of-Consistency
- Statement-of-Inconsistency



Application for an Amendment To The Official Zoning Map of Erwin, NC

Staff Only: Zoning Case # Z-20 -
Fee: _____ Check # _____ MO _____ Cash _____
PB Recommendation: A D A/W Conditions
BOC Date: _____ Decision: A D T A/W Conditions

Print Applicant Name: CSJO LTD LLC
Name of Legal Property Owner CSJO LTD LLC
Location of Property PIN - 1507-30-8769

Please Circle One of the Following: Less than one Acre One to 4.99 Acres Five or more Acres

Zoning change requested from B-2 to R-6

If Conditional District, note conditions: _____

Harnett County Tax Map PIN 1507-30-8769

Property owner(s) of area requested and address(es)

(If more space is required, please attach to this document separately)

- Submit names and addresses of property owners immediately adjacent to the proposed rezoning area (and properties within 100 feet of proposed rezoning area) and across any street(s) and identify on an area map
- Attach a metes and bounds description, deed drawing of the area involved or a reference to lots in an approved subdivision on the entire property requested for change
- This application must be filed with the Town Hall by 4:00 p.m. on the Friday which is at least 25 days before the meeting at which it is to be considered and may be withdrawn without penalty no later than 19 days prior to the public hearing

Whenever an application requesting an amendment has been acted on and denied by the Town Board, such application, or one substantially similar shall not be reconsidered sooner than one year after the previous denial.

It is understood by the undersigned that the Zoning Map, as originally adopted and as subsequently amended, is presumed by the Town to be appropriate to the property involved and that the burden of proof for a zoning amendment rests with the applicant. Applicant is Encouraged to Discuss the Proposed Zoning Amendment with Affected Property Owners.

Carol J. Duncan 919 894-9714
Signature of Applicant Contact Number

PO Box 194 Erwin, NC 28339
Mailing Address of Applicant

PAID
SEP 29 2020

MSB

TOWN OF ERWIN



REZONING MAP REQUEST STAFF REPORT

Case: ZT-2020-01

Snow Bowden, Town Manager
townmanager@erwin-nc.org

Phone: (910) 591-4200 Fax: (910) 897-5543

Planning Board: 10/19/2020

Town Commissioners: 11/05/2020

Board:

Commissioners:

Requested zoning map amendment to a vacant parcel off of Denim Drive with corresponding Harnett County Tax PIN # 1507-30-8769.000. Applicant wants the property rezoned from B-2 Zoning District to our R-6 Zoning District

Applicant Information

Owner of Record:

Name: CSJD LTD LLC

Address: PO Box 194

City/State/Zip: Erwin, NC 28339

Applicant:

Name: Carolyn Dorman

Address: PO Box 194

City/State/Zip: Erwin, NC 28339

Property Description

Harnett County Tax PIN 1507-30-8769.000

Acres .62

Zoning District- B-2

Vicinity Map

- See Attached Harnett County GIS Image with zoning districts
- See Attached Harnett County GIS Image without zoning districts

Physical Characteristics

Site Description: This is a vacant parcel that is .62 acres. It has an estimated 160 feet of road frontage off of Denim Drive which is a NC Department of Transportation road.

Surrounding Land Uses: This parcel is located off of a NCDOT road. Across the street there is a nonconforming grandfathered mobile home park which would be considered residential. There is residential zoning directly behind this lot. To the immediate left and right of this lot the parcels are zoned B-2 (highway business). The structures are used mostly for single-family dwellings. At one point the property at 2503 Denim Drive was rezoned from B-2 to R-6. But it was later rezoned back from R-6 to B-2.

Services Available

- Harnett County Regional Water and Sewer is available for this parcel
 - Duke Energy would provide electricity
-
-

Staff Evaluation

This parcel is located off of a main road in the Town of Erwin. In the area there is a mix of residential and commercial land uses. There are residential land uses directly across the street and behind the parcel. The majority of the residential land uses off of Denim Drive are nonconforming grandfather uses. In our 2014 Land Use Plan this parcel is in the area identified for medium intensity growth. The medium intensity land use area is intended for medium to high density mixed residential uses based on the 2014 land use plan.

Attachments:

- GIS zoning district image
- GIS image
- Amendment to the Official Zoning Map of Erwin, NC Application
- Surrounding property owners notified

Statement-of-Consistency

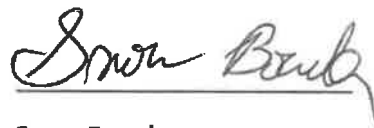
The requested rezoning to R-6 is compatible with all of the Town of Erwin's regulatory documents and would not only have a positive impact on the surrounding community, but would enhance the public health, safety, and general welfare as stated in the evaluation. It is recommended that this rezoning request be **Approved**.



Nancy S. Jackson

Chairperson

ATTEST



Snow Bowden

Town Manager

Statement-of-Consistency

The requested rezoning to R-6 is compatible with all of the Town of Erwin's regulatory documents and would not only have a positive impact on the surrounding community, but would enhance the public health, safety, and general welfare as stated in the evaluation. It is recommended that this rezoning request be **Approved**.



Patsy M. Carson
Mayor



Lauren Evans
Town Clerk

MINUTES CONTINUED FROM JANUARY 7, 2021

ZT-2020-02

Town Manager Snow Bowden informed the Board that the Applicant was not able to make it to the Public Hearing due to having to quarantine for Covid-19 but the applicant was available by phone if the Board had any questions.

Mayor Patsy Carson asked if anyone present would like to speak in favor of the request.

No one came forward.

Mayor Patsy Carson asked if anyone present would like to speak against the request.

No one came forward.

Commissioner Turnage made a motion to close the public hearing at 7:20 PM and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

Commissioner Alvarado made a motion to recommend approval of the rezoning request ZT-2020-02 to have the parcel off of Morgan Street rezoned from B-2 to R-6 and was seconded by Commissioner Whitman. **The Board voted unanimously**

Commissioner Mckoy made a motion to go back into Public Hearing at 7:21 PM and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

ZT-2020-03

Mayor Patsy Carson asked if anyone present would like to speak in favor of the request.

Applicant, Freddie Faircloth, came forward and was sworn in by the Town Clerk Lauren Evans.

Mr. Faircloth asked the Board to please consider approving the request as it was important to him.

The Board had no questions for Mr. Faircloth.

Mayor Patsy Carson asked if anyone present would like to speak against the request.

No one came forward.

Commissioner Turnage made a motion to close the public hearing at 7:23 PM and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

Commissioner Blackmon made a motion to recommend approval of the rezoning request ZT-2020-02 to have the parcel rezoned from RD to M-1-CD and was seconded by Commissioner Alvarado. **The Board voted unanimously.**

Erwin Board of Commissioners

REQUEST FOR CONSIDERATION

To: The Honorable Mayor and Board of Commissioners

From: Snow Bowden, Town Manager

Date: January 7, 2021

Subject: ZT-2020-02

An application has been submitted to the Town of Erwin to have a parcel off of Morgan Street rezoned from B-2 to R-6 Zoning. This parcel is adjacent to an R-6 zoning district. The parcel is currently vacant. The area is surrounded by a mixed use of residential and commercial uses. If you want to recommend this property be rezoned you will need to adopt a statement-of-consistency. If you want to recommend against this rezoning request you will need to adopt a statement-of-nonconsistency.

The Planning Board recommended that this rezoning request be approved by adopting a statement of consistency that is included in this packet.

Attachments:

- ZT-2020-02 Application
- ZT-2020-02 Staff Report
- GIS image
- GIS image with Zoning
- Statement of Consistency from Planning Board
- Statement of Consistency
- Statement of Inconsistency



Application for an Amendment To The Official Zoning Map of Erwin, NC

Staff Only: Zoning Case # Z-20 -
Fee: _____ Check # _____ MO _____ Cash _____
PB Recommendation: A D A/W Conditions
BOC Date: _____ Decision: A D T A/W Conditions

Print Applicant Name: STRICKLEY & COMPANY LLC
Name of Legal Property Owner STRICKLEY & COMPANY LLC
Location of Property 108 MORGAN ST

Please Circle One of the Following: Less than one Acre One to 4.99 Acres Five or more Acres

Zoning change requested from Highway Business to R6
If Conditional District, note conditions: _____

Harnett County Tax Map PIN 1507-22-1362

Property owner(s) of area requested and address(es)
VICTORIA SHARRAR GAY PREVATT
1400 DENIM DR. 110 MORGAN ST
EDWARD ADDISON LARRY WOOD
109 MORGAN ST 1500 DENIM DR.

(If more space is required, please attach to this document separately)

- Submit names and addresses of property owners immediately adjacent to the proposed rezoning area (and properties within 100 feet of proposed rezoning area) and across any street(s) and identify on an area map
- Attach a metes and bounds description, deed drawing of the area involved or a reference to lots in an approved subdivision on the entire property requested for change
- This application must be filed with the Town Hall by 4:00 p.m. on the Friday which is at least 25 days before the meeting at which it is to be considered and may be withdrawn without penalty no later than 19 days prior to the public hearing

Whenever an application requesting an amendment has been acted on and denied by the Town Board, such application, or one substantially similar shall not be reconsidered sooner than one year after the previous denial.

It is understood by the undersigned that the Zoning Map, as originally adopted and as subsequently amended, is presumed by the Town to be appropriate to the property involved and that the burden of proof for a zoning amendment rests with the applicant. Applicant is Encouraged to Discuss the Proposed Zoning Amendment with Affected Property Owners.

[Signature] Signature of Applicant 919-922-5898 Contact Number [ID]

258 Wilburcraft CT, Dunn NC 28334 Mailing Address of Applicant

TOWN OF ERWIN

MSB



REZONING MAP REQUEST STAFF REPORT

Case: ZT-2020-02

Snow Bowden, Town Manager
townmanager@erwin-nc.org

Phone: (910) 591-4200 Fax: (910) 897-5543

Planning Board: 11/16/2020

Town Commissioners: 12/05/2020

Requested zoning map amendment to a vacant parcel off of Morgan Street (108 Morgan Street) with corresponding Harnett County Tax PIN #1507-22-1362.000. The request is to have the property rezoned from Highway Business (B-2) to Residential (R-6)

Applicant Information

Owner of Record:

Name: Janice Godwin Lucas

Address: 100 East C Street

City/State/Zip: Erwin, NC 28339

Applicant:

Name: Strickley and Company LLC

Address: 258 Willowcroft Court

City/State/Zip: Dunn, NC 28334

Property Description

Harnett County Tax PIN 1507-22-1362.000

Acres .48

Zoning District- B-2

Vicinity Map

- See Attached Harnett County GIS Image with zoning districts
- See Attached Harnett County GIS Image without zoning districts

Physical Characteristics

Site Description: This is a vacant parcel that is .48 acres. It fronts Morgan Street which is a Town owned street. This parcel could be set up in a manner that a residential structure could front Morgan Street. The parcel only has 100 feet of road frontage off of Denim Drive. There is 200 feet of road frontage off of Morgan Street. This parcel is not in a flood zone.

Surrounding Land Uses: This parcel is located off of a NCDOT road and Town owned road. There is R-6 zoning adjacent to the property off of Morgan Street. There is a mixed use of uses in the area including commercial and residential uses.

Services Available

- Harnett County Regional Water and Sewer is available for this parcel
 - Duke Energy would provide electricity
-
-

Staff Evaluation

This parcel is located off of a main road in the Town of Erwin. As stated earlier it could be set up in a manner where any new building fronts Morgan Street which is a Town street. In the area there is a mix of residential and commercial land uses. There are residential land uses adjacent to the property. The majority of the residential land uses off of Denim Drive are nonconforming grandfather uses. In our 2014 Land Use Plan this parcel is in the area identified for medium intensity growth. The medium intensity land use area is intended for medium to high density mixed residential uses based on the 2014 land use plan.


Attachments:

- GIS zoning district image
- GIS image
- Amendment to the Official Zoning Map of Erwin, NC Application
- Surrounding property owners notified

Harnett GIS




NOT FOR LEGAL USE




Harnett
COUNTY
NORTH CAROLINA

GIS/E-911 Addressing
November 9, 2020





N
W E
S





0 40 80 160
Feet


1 inch = 94 feet


Recycle Center 


Landfills 


Surrounding County Boundaries 


Federal Property 


City Limits 


Harnett County Boundary  NC


Address Numbers  US


MajorRoads  Airport

Interstate 

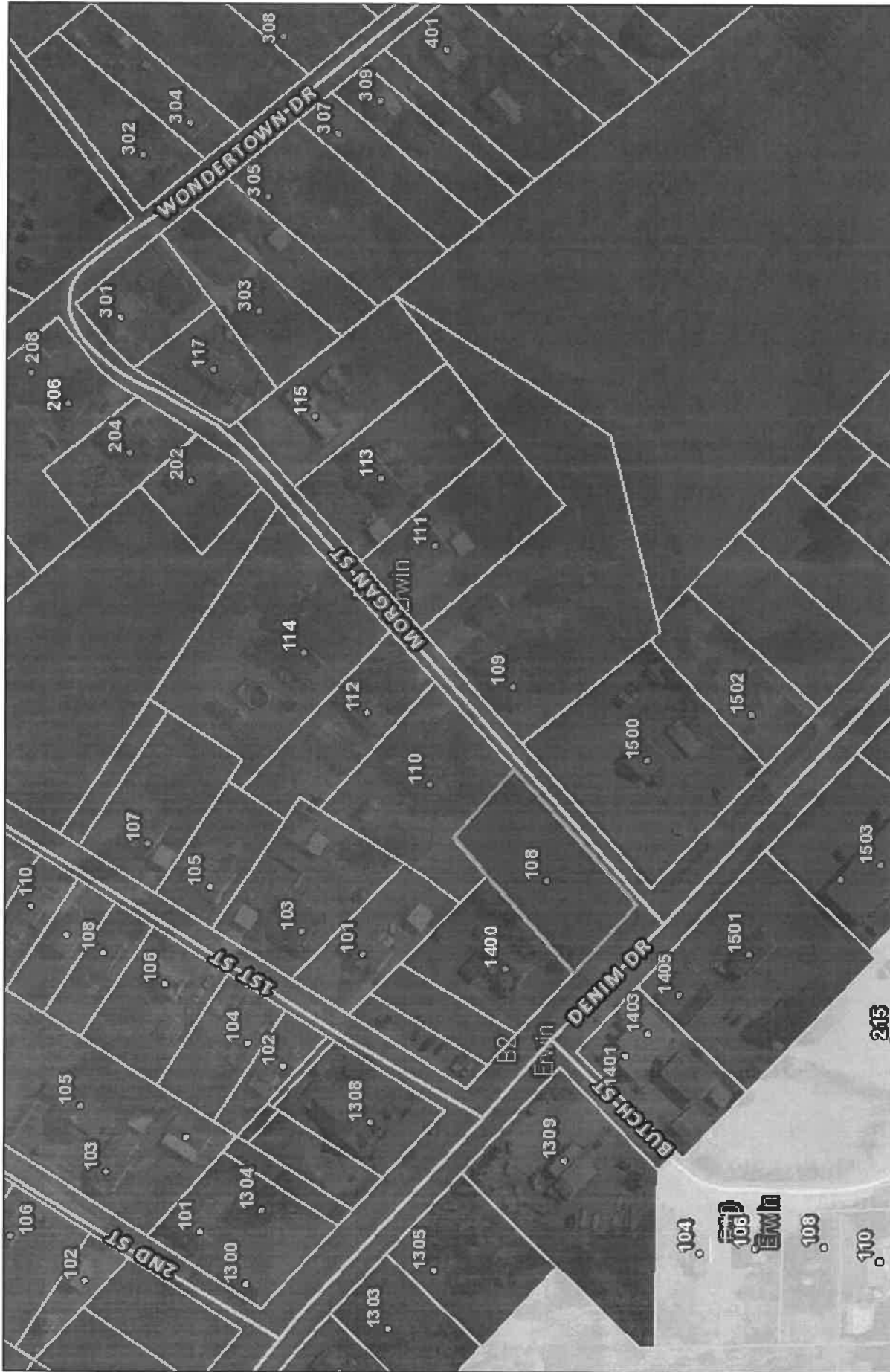
Parcels 

Roads 
















Mile_Markers 

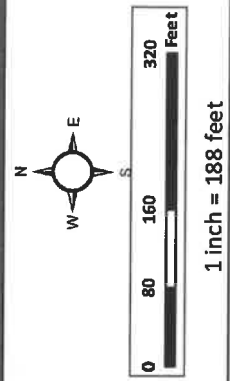
Railroad 

Harnett GIS




NOT FOR LEGAL USE .

	Recycle Center		Harnett County Boundary		NC
	Landfills		Address Numbers		US
	Surrounding County Boundaries		Airport		Roads
	Federal Property		Major Roads		Mile Markers
	City Limits		Interstate		Railroad
	Parcels				

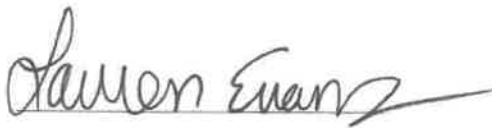


Statement-of-Consistency

The requested rezoning to R-6 is compatible with all of the Town of Erwin's regulatory documents and would not only have a positive impact on the surrounding community, but would enhance the public health, safety, and general welfare as stated in the evaluation. It is recommended that this rezoning request be **Approved**.



Nancy Jackson
Planning Board Chair




Lauren Evans
Town Clerk

Statement-of-Consistency

The requested rezoning to R-6 is compatible with all of the Town of Erwin's regulatory documents and would not only have a positive impact on the surrounding community, but would enhance the public health, safety, and general welfare as stated in the evaluation. It is recommended that this rezoning request be **Approved**.



Patsy M. Carson
Mayor



Lauren Evans
Town Clerk

Erwin Board of Commissioners

REQUEST FOR CONSIDERATION

To: The Honorable Mayor and Board of Commissioners

From: Snow Bowden, Town Manager

Date: January 7, 2021

Subject: ZT-2020-03

An application has been submitted to the Town of Erwin to have a parcel off of West E Street rezoned from RD (Rural District) to M-1-CD (Conditional District). The property has an existing metal shell building that was built in 1989. It has been used as a welding shop before. It has been vacant for a while and the property owner wants to open up a welding shop in this location. A welding shop is not a permitted or conditional use in the RD Zoning District so he has asked to have the property rezoned. If you want to recommend this property be rezoned you will need to adopt a statement-of-consistency. If you want to recommend against this rezoning request you will need to adopt a statement-of-nonconsistency.

The Planning Board recommended that this rezoning request be approved by adopting a statement of consistency that is included in this packet.

Attachments:

- ZT-2020-03 Application
- ZT-2020-03 Staff Report
- GIS image
- GIS image with Zoning
- Statement of Consistency from Planning Board
- Statement of Consistency
- Statement of Inconsistency



Application for an Amendment To The Official Zoning Map of Erwin, NC

Staff Only: Zoning Case # Z-2022-03
Fee: 300 Check # _____ MO _____ Cash 300
PB Recommendation: A D A/W Conditions
BOC Date: 12/13 Decision: A D T A/W Conditions

Print Applicant Name: Freddie Faircloth
Name of Legal Property Owner Freddie L. Faircloth
Location of Property 1104 West E Street Erwin, NC 28339

Please Circle One of the Following: Less than one Acre One to 4.99 Acres Five or more Acres

Zoning change requested from RD to M1-CO

If Conditional District, note conditions: weliving shop all work are in an existing building
Harnett County Tax Map PIN 0597-24-9227.00
Property owner(s) of area requested and address(es)

see attached

(If more space is required, please attach to this document separately)

- Submit names and addresses of property owners immediately adjacent to the proposed rezoning area (and properties within 100 feet of proposed rezoning area) and across any street(s) and identify on an area map
- Attach a metes and bounds description, deed drawing of the area involved or a reference to lots in an approved subdivision on the entire property requested for change
- This application must be filed with the Town Hall by 4:00 p.m. on the Friday which is at least 25 days before the meeting at which it is to be considered and may be withdrawn without penalty no later than 19 days prior to the public hearing

Whenever an application requesting an amendment has been acted on and denied by the Town Board, such application, or one substantially similar shall not be reconsidered sooner than one year after the previous denial.

It is understood by the undersigned that the Zoning Map, as originally adopted and as subsequently amended, is presumed by the Town to be appropriate to the property involved and that the burden of proof for a zoning amendment rests with the applicant. Applicant is Encouraged to Discuss the Proposed Zoning Amendment with Affected Property Owners.

Freddie Faircloth 910-237-3220
Signature of Applicant Contact Number
1105 West E St Erwin N.C 28339
Mailing Address of Applicant



REZONING MAP REQUEST STAFF REPORT

Case: ZT-2020-03

Snow Bowden, Town Manager
townmanager@erwin-nc.org

Phone: (910) 591-4200 Fax: (910) 897-5543

Planning Board: 11/16/2020

Town Commissioners: 12/05/2020

Requested zoning map amendment to 1104 West E Street from RD to M-1-CD (Conditional District)

Applicant Information

Owner of Record:

Name: Freddie L. Faircloth
Address: 1105 West E Street
City/State/Zip: Erwin, NC 28339

Applicant:

Name: Freddie L. Faircloth
Address: 1105 West E Street
City/State/Zip: Erwin, NC 28339

Property Description

Harnett County Tax PIN 0597-24-9227.000
Acres .51
Zoning District- RD (Rural District)

Vicinity Map

- See Attached Harnett County GIS Image with zoning districts
- See Attached Harnett County GIS Image without zoning districts

Physical Characteristics

Site Description: This is a half-acre lot that has an existing building on it that has been used for welding in the past. The building was built in 1989.

Surrounding Land Uses: This parcel is located at the end of a town street. The majority of the land uses around this property are residential in nature. There is an existing auto garage across the street from this building, and a water plant is located off this road as well. This property is located at the edge of town limits.

Services Available

- Harnett County Regional Water and Sewer is available for this parcel
- Duke Energy would provide electricity

Staff Evaluation

This parcel is located at the end of West E Street which is a town maintained street. This is an existing building that has been used as a welding shop in the past. Town Staff does not believe there would be an adverse impact to the area if this conditional district was approved. All work would take place in an existing building that has been used in the past for this type of work.


Attachments:

- GIS zoning district image
- GIS image
- Amendment to the Official Zoning Map of Erwin, NC Application
- Surrounding property owners notified

Harnett GIS



NOT FOR LEGAL USE .



Harnett COUNTY
NORTH CAROLINA

GIS/E-911 Addressing
November 10, 2020

Recycle Center

Landfills

Surrounding County Boundaries

Federal Property

City Limits

Harnett County Boundary NC US

Address Numbers

Airport


MajorRoads Interstate


Roads

Mile_Markers

Railroad

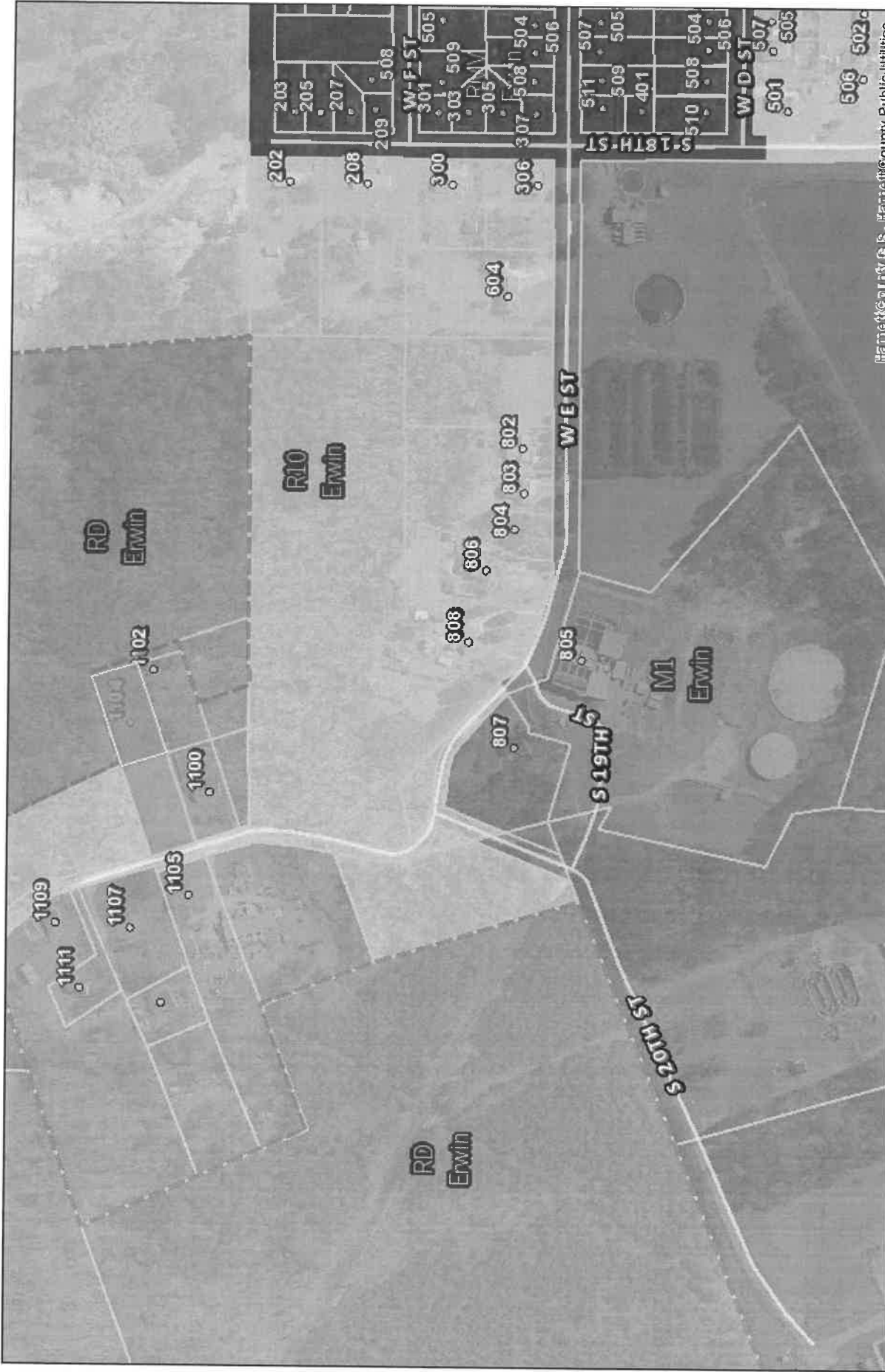
Parcels





1 inch = 188 feet

Harnett GIS



Harnett County GIS, Harnett County Public Utilities

Harnett County
NORTH CAROLINA

GIS/E-911 Addressing
November 10, 2020

Recycle Center

Landfills

Surrounding County Boundaries

Federal Property

City Limits

Harnett County Boundary

Address Numbers

Airport

Major Roads

Interstate

NC

US

Roads

Mile Markers

Railroad

Parcels

1 inch = 376 feet


NOT FOR LEGAL USE.

Statement-of-Consistency

The requested rezoning to M1-CD (Conditional District) is compatible with all of the Town of Erwin's regulatory documents and would not only have a positive impact on the surrounding community, but would enhance the public health, safety, and general welfare as stated in the evaluation. It is recommended that this rezoning request be **Approved**.



**Nancy Jackson
Planning Board Chair**



**Lauren Evans
Town Clerk**

Statement-of-Consistency

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Patsy M. Carson
Mayor



Lauren Evans
Town Clerk

MINUTES CONTINUED FROM JANUARY 7, 2021

NEW BUSINESS

RESOLUTION- ADOPTING CAPE FEAR REGIONAL HAZARD MITIGATION PLAN

Town Attorney Tim Morris stated he felt the Resolution was good and has been preapproved.

Town Manager Snow Bowden stated he felt comfortable with the Resolution.

Commissioner Blackmon made a motion to approve adopting Cape Fear Regional Hazard Mitigation Plan and was seconded by Commissioner Alvarado. **The Board voted unanimously.**

BUDGET AMENDMENT REQUESTS

Commissioner Alvarado made a motion to approve requested Budget Amendments and was seconded by Commissioner Blackmon. **The Board voted unanimously.**

MANAGER'S REPORT

Town Manager Snow Bowden informed the Board that at the next scheduled Board Meeting in February he plans to present some updated budget number to the Board. He stated the numbers are better than he originally projected them to be.

Town Manger Snow Bowden also informed the Board that the Auditors came a few weeks ago so the Board should be hearing from them soon.

GOVERNING BOARD COMMENTS

Commissioner McKoy welcomed the new Town Clerk Lauren Evans. He thanked God for taking care of Commissioner Turnage during his surgery. He gave a heartfelt apology to Commissioner Blackmon on the loss of his mother. He asked that everyone pray for our Nation and everyone who has lost their loved ones to this terrible virus. He stated he is keeping Commissioner Baker in his prayers for the loss of his Mother in Law. He expressed his gratitude to Tim Morris for being the Town Attorney.

Commissioner Turnage stated there a good things going on in the Town of Erwin right now. He states people are cleaning things up and he is happy about that. He states there is a nice big house being built in Chicora.

Erwin Board of Commissioners

REQUEST FOR CONSIDERATION

To: The Honorable Mayor and Board of Commissioners

From: Snow Bowden, Town Manager

Date: January 7, 2021

Subject: Regional Hazard Mitigation Plan for the Cape Fear Region

I sent out everyone a link to the copy of the updated Regional Hazard Mitigation Plan for the Cape Fear Region which includes the Town of Erwin. We already have an existing Regional Hazard Mitigation Plan this is just an update to the existing plan. The proposal has already been approved by FEMA. It does require the approval from all of the counties/municipalities involved.

Attachments:

- Letter of Approval from FEMA Risk Analysis
- Resolution adopting Cape Fear Region Hazard Mitigation Plan

Action Recommended:

- Adopt resolution approving the Cape Fear Region Hazard Mitigation Plan

December 7, 2020

Mr. Steve McGugan
State Hazard Mitigation Officer
Assistant Director / Mitigation Section Chief
Division of Emergency Management
NC Department of Public Safety
200 Park Offices Drive
Durham, NC 27713

Reference: Multi-Jurisdictional Hazard Mitigation Plan: Cape Fear Regional

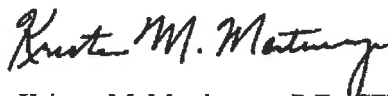
Dear Mr. McGugan:

This is to confirm that we have completed a Federal review of the draft Cape Fear Regional Multi-Jurisdictional Hazard Mitigation Plan for compliance with the Federal hazard mitigation planning requirements contained in 44 CFR 201.6(b)-(d). We have determined that the Cape Fear Regional Multi-Jurisdictional Hazard Mitigation Plan is compliant with Federal requirements, subject to formal community adoption.

In order for our office to issue formal approval of the plan, the participants of Cape Fear Regional must submit adoption documentation. Upon submittal of a copy of documentation of the adoption resolution(s) to our office, we will issue formal approval of the Cape Fear Regional Multi-Jurisdictional Hazard Mitigation Plan. Please have the participants of Cape Fear Regional submit a final copy of their Plan, without draft notations and track changes.

For further information, please do not hesitate to contact Catherine Strickland, of the Hazard Mitigation Assistance Branch, at (770) 220-5328 or Edwardine S. Marrone, of my staff, at (404) 433-3968.

Sincerely,



Kristen M. Martinenza, P.E., CFM
Branch Chief
Risk Analysis
FEMA Region IV

RESOLUTION ADOPTING CAPE
FEAR REGIONAL HAZARD
MITIGATION PLAN

WHEREAS, the citizens and property within the Town of Erwin are subject to the effects of natural hazards that pose threats to lives and cause damage to property, and with the knowledge and experience that certain areas of the county are particularly vulnerable to drought, extreme heat, hailstorm, hurricane and tropical storm, lightning, thunderstorm wind/high wind, tornado, winter storm and freeze, flood, hazardous material incident, and wildfire; and

WHEREAS, the County desires to seek ways to mitigate the impact of identified hazard risks; and

WHEREAS, the Legislature of the State of North Carolina has in Part 6, Article 21 of Chapter 143; Parts 3, 5, and 8 of Article 19 of Chapter 160A; and Article 8 of Chapter 160A of the North Carolina General Statutes, delegated to local governmental units the responsibility to adopt regulations designed to promote the public health, safety, and general welfare of its citizenry; and

WHEREAS, the Legislature of the State of North Carolina has enacted General Statute Section 166A-19.41 (*State emergency assistance funds*) which provides that for a state of emergency declared pursuant to G.S. 166A-19.20(a) after the deadline established by the Federal Emergency Management Agency pursuant to the Disaster Mitigation Act of 2002, P.L. 106-390, the eligible entity shall have a hazard mitigation plan approved pursuant to the Stafford Act; and.

WHEREAS, Section 322 of the Federal Disaster Mitigation Act of 2000 states that local governments must develop an All-Hazards Mitigation Plan in order to be eligible to receive future Hazard Mitigation Grant Program Funds and other disaster-related assistance funding and that said Plan must be updated and adopted within a five year cycle; and

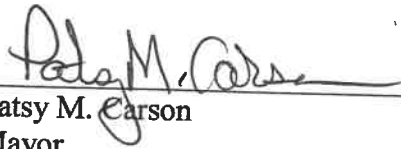
WHEREAS, the Town of Erwin has performed a comprehensive review and evaluation of each section of the previously approved Hazard Mitigation Plan and has updated the said plan as required under regulations at 44 CFR Part 201 and according to guidance issued by the Federal Emergency Management Agency and the North Carolina Division of Emergency Management.

WHEREAS, it is the intent of the Board of Commissioners of the Town of Erwin to fulfill this obligation in order that the County will be eligible for federal and state assistance in the event that a state of disaster is declared for a hazard event affecting the County;


NOW, THEREFORE, be it resolved that the Board of Commissioners of the Town of Erwin hereby:

1. Adopts the Cape Fear Regional Hazard Mitigation Plan.
2. Vests Harnett County Emergency Management with the responsibility, authority, and the means to:
 - (a) Inform all concerned parties of this action.
 - (b) Cooperate with Federal, State and local agencies and private firms which undertake to study, survey, map and identify floodplain areas, and cooperate with neighboring communities with respect to management of adjoining floodplain areas in order to prevent exacerbation of existing hazard impacts.
3. Appoints Harnett County Emergency Management to assure that the Hazard Mitigation Plan is reviewed annually and every five years as specified in the Plan to assure that the Plan is in compliance with all State and Federal regulations and that any needed revisions or amendments to the Plan are developed and presented to the Town of Erwin Board of Commissioners for consideration.
4. Agrees to take such other official action as may be reasonably necessary to carry out the objectives of the Hazard Mitigation Plan.

Adopted this the 7th day of January, 2021



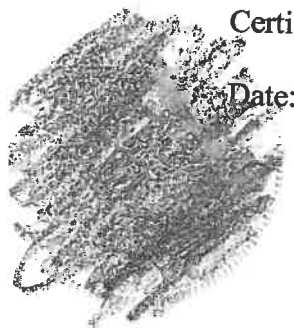
Patsy M. Carson
Mayor

Attest:


Lauren Evans
Town Clerk

Certified by:  (SEAL)

Date: 1/11/2021



Erwin Board of Commissioners

REQUEST FOR CONSIDERATION

To: The Honorable Mayor and Board of Commissioners

From: Snow Bowden, Town Manager

Date: January 7, 2021

Subject: Proposed Budget Amendments

We have been advised by the technology (IT) department from Harnett County that we need to upgrade some of our computer systems. The older computer systems are more prone to being hacked and other threats as well. The proposed budget amendments would purchase four (4) all-in-one computers plus Microsoft Office for the Police Department, and two (2) of the same systems for the Recreation Department. These purchases were not included in the budget for this Fiscal Year but I do feel like this is a necessary purchase.

Attachments:

- Proposed Budget Amendments

Action Recommended

- Approve the proposed budget amendments

**BUDGET ORDINANCE AMENDMENT
BOA 2021 - 01
FISCAL YEAR 2020-2021**

BE IT ORDANINED by the Governing Board of the Town of Erwin, North Carolina that the following amendments are made to the annual budget ordinance for the fiscal year ending June 30, 2021.

Section 1. This Budget Ordinance Amendment seeks to transfer \$5,500.00 from (10-4100-990) Contingency Account TO (10-5100-180) Police Dept. Equipment.

Section 2. To amend the General Fund: The revenues are to be changed as follows:

No Changes

Account	Description	Current Approp.	Increase/Decrease	Amended Appropriation

Section 3. To amend the General Fund: The Expenditures are to be changed as follows:

Account	Description	Current Approp.	Increase/Decrease	Amended Appropriation
10-5100-180	Police Depart .Equip	\$7,000.00	\$5,500.00	\$12,500.00
10-4100-990	Board – Contingency	\$16,757.00	<\$5,500.00>	\$11,257.00

Section 4. Copies of this budget amendment shall be furnished to the Clerk, to the Governing Board, and to the Budget Officer and the Finance Director for their direction.

Adopted this 7th day of January 2021:



 Patsy Carson, Mayor

ATTEST:


 Lauren Evans, Town Clerk

**BUDGET ORDINANCE AMENDMENT
BOA 2021- 02
FISCAL YEAR 2020-2021**

BE IT ORDANINED by the Governing Board of the Town of Erwin, North Carolina that the following amendments are made to the annual budget ordinance for the fiscal year ending June 30, 2021.

Section 1. This Budget Ordinance Amendment seeks to transfer \$2,300.00 from (10-4100-990) Contingency Account TO (10-6200-180) Recreation Dept. Equipment.

Section 2. To amend the General Fund: The revenues are to be changed as follows:

No Changes


Account	Description	Current Approp.	Increase/Decrease	Amended Appropriation

Section 3. To amend the General Fund: The Expenditures are to be changed as follows:

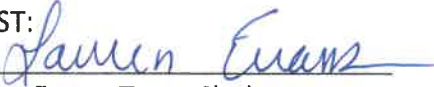
Account	Description	Current Approp.	Increase/Decrease	Amended Appropriation
10-6200-180	Recreation Depart Equip	\$ 5,000.00	\$2,300.00	\$7,300.00
10-4100-990	Board - Contingency	\$11,257.00	<\$2,300.00>	\$8,957.00

Section 4. Copies of this budget amendrment shall be furnished to the Clerk, to the Governing Board, and to the Budget Officer and the Finance Director for their direction.

Adopted this 7th day of January 2021.



 Patsy Carson, Mayor

ATTEST: 

 Lauren Evans, Town Clerk

MINUTES CONTINUED FROM JANUARY 7, 2021

Mayor Patsy Carson states she noticed the “Coming Soon” sign on Denim Road. Members of the Board informed it was a possible florist shop but the Town has not been made aware at this time.

PUBLIC COMMENT

Town Manager Snow Bowden states the Town did not receive any Public Comment.

ADJOURNMENT

Commissioner Turnage made a motion to adjourn at 7:32 P.M. and was seconded by Commissioner Thurman. **The Board voted unanimously.**

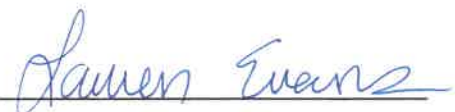
**MINUTES RECORDED AND TYPED BY
LAUREN EVANS TOWN CLERK**

ATTEST:



Patsy M. Carson

Mayor



Lauren Evans

Town Clerk